



AGENDA

Middleton Planning & Zoning Commission & Design Review Committee

Date: **Monday, May 8, 2023,**

Time: 5:30 p.m.

Location: **City Hall Chambers - 1103 W Main St., Middleton, Idaho**

Call To Order, Pledge of Allegiance, Roll Call

Action Items

1. **Consent Agenda** (items of routine administrative business)
 - a. Consider approving minutes for April 10, 2023, regular meeting.
2. **Public Meeting:** Consider approval of the Design Review application for Caliber Collision proposed on Lots 5 & 6 of the Bozic Subdivision (913 & 957 Bozic Street).
3. **Public Hearing:** (Continued from April 10, 2023) Application by Furaha A. Bonane for special use permit to operate a licensed daycare center from her home located at 105 E. Rose Lake Drive, Middleton, Idaho (Middleton Lakes Subdivision). The operation will provide daycare for up to 13 children that are unrelated to Ms. Bonane. The hours of operation will be 7:00 a.m. to 5:00 p.m., Monday through Friday. – Ms. Stewart

Public Comments, Commission and Staff Comments, Adjourn

Posted by:


Amber Day - Deputy Clerk, Administration

Date: May 3, 2023, at 3:30 p.m.

Please contact the city at 208-585-3133 if you have special needs or require assistance.

1a

**MIDDLETON CITY PLANNING AND ZONING
COMMISSION MINUTES
APRIL 10, 2023**

Pledge of Allegiance, Roll Call & Call to Order: The April 10, 2023, Planning and Zoning Commission Meeting was called to order by Chairman Summers at 5:36 p.m. Commissioners Summers, Crofts, Christiansen, Tremble, and Watkins were present. Planning & Zoning Official Ms. Stewart, Planning Deputy Clerk Ms. Day were also present.

Action Items:

- 1. Consent Agenda (items of routine administrative business)**
 - a. Consider approving minutes for April 10, 2023, regular meeting.**

Motion: Motion by Commissioner Christiansen to approve the consent agenda items 1a. Motion seconded by Commissioner Crofts and approved unanimously.

- 2. Public Hearing: Application by Furaha A. Bonane for special use permit to operate a licensed daycare center from her home located at 105 E. Rose Lake Drive, Middleton, Idaho (Middleton Lakes Subdivision). The operation will provide daycare for up to 13 children that are unrelated to Ms. Bonane. The hours of operation will be 7:00 a.m. to 5:00 p.m., Monday through Friday.**

Chairman Summers opened public hearing at 5:42 p.m.

Ms. Stewart presented a PowerPoint presentation of the Staff Report. (Exhibit A)

Applicant spoke through an interpreter and answered various questions from the Commissioners.

Chairman Summers opened public testimony at 6:07 p.m.

Mike Graefe: Testifies

Chairman Summers closed public testimony at 6:10 p.m.

Brief discussion between Ms. Stewart and the Commissioners.

Motion: Motion by Commissioner Christiansen to continue to the May 8, 2023 regularly scheduled meeting, the application of Furaha A. Bonane for special use permit to operate a licensed daycare from her home so that Applicant has time to complete the following: (1) obtain approval for the daycare from the Middleton Fire District Fire Marshall, (2) provide proof of proper state licensing for the daycare, and (3) provide proof that the Subdivision HOA has given Applicant permission to use the HOA owned park for daycare purposes. Motion seconded by Commissioner Watkins.

Roll Call: Chairman Summers – yes, Commissioner Christiansen – yes, Commissioner Crofts – yes, Commissioner Tremble – yes and Commissioner Watkins – yes approved unanimously.

Chairmen Summers closed the public hearing at 6:24 p.m.

Public Comments, Commissioner and Staff Comments

Public Comments

Mike Graefe: Asked about the status of the meat packing company that was supposed to build in the Bozic Subdivision.

Ms. Stewart stated that the company was sold, and the new company no longer wants to build in Middleton.

Katie Gregory: Wanted to know when more stores and restaurants are coming to Middleton

Commissioners Comment

Chairman Summers invited other Commissioners to attend a County Planning & Zoning Meeting, to observe their practices and procedures. She will be obtaining County scripts that may be helpful for Middleton. She will run the scripts by City Attorney.

Adjourn: Chairman Summers adjourned the meeting at 6:34 p.m.

Heidal Summers, Chairmen

ATTEST:

Deputy Clerk, Planning

Approved: May 8, 2023

Exhibit “A”



STAFF REVIEW AND REPORT

Middleton Planning and Zoning Commission

Special Use Permit Application

(Furaha A. Bonane Daycare – 105 E. Rose Lake Dr.)

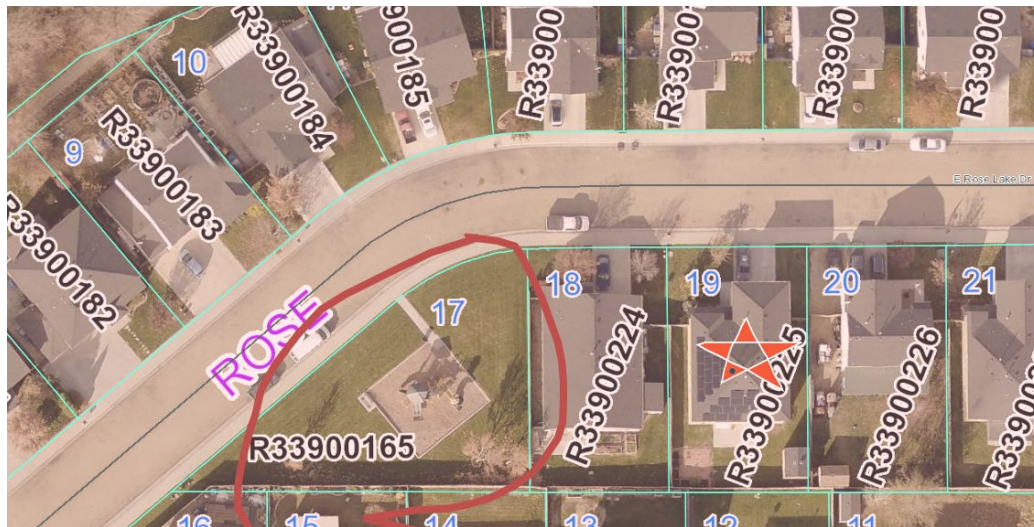


- A. **Planning & Zoning Commission Hearing Date:** April 10, 2023
- B. **Application & Description:** Application by Furaha A. Bonane for special use permit to operate a daycare in her home located at 105 E. Rose Lake Dr. (Middleton Lakes Subdivision). Applicant is requesting a permit to care for up to 13 children. Ages of the children are newborn to 13 years old. Applicant also has four other children in the

home who are related to her. Their ages are 17, 15, 13 and 7 years old. Ms. Bonane will be the only care provider in the home. There will be no additional employees.

The home is 5500 s.f., not including the garage. Proposed daycare hours are 7 a.m. to 5 p.m., Monday through Friday. Applicant will be responsible for picking up and dropping off the children. (During the hearing, Applicant should be able to elaborate on the plan for pick up and drop off.)

Applicant proposes using a nearby subdivision park as the outdoor play area as shown below.



Staff requested Applicant to schedule an in-home inspection by Middleton Fire Marshall Victor Islas. Fire Marshall will apply the requirements of the Idaho State Code to determine how many children Ms. Bonane can safely care for at any one time. The number is determined by square footage of usable space and other considerations detailed in the Code.

Ms. Bonane's representative indicated that they would set up the inspection and had the ability to set up the inspection. However, they have failed to schedule an inspection with the Fire Marshall.

Planning Staff cannot confirm that Ms. Bonane is allowed, under the State Code, to have up to 13 children in her in-home daycare.

- C. Current Zoning, Land Use & Property Condition:** The property is currently zoned R-3 (Single Family Residential). A single family home is located on the lot. The lot is surrounded on all sides by R-3 zoning and single family homes.

- D. **City Services:** The lot is located in an established neighborhood, so water, sewer, police and fire protection are already servicing the subject lot.
- E. **Traffic, Access & Streets:** Depending upon Applicant's description at the public hearing of pick-up and drop-off procedures, traffic and access may be an issue.
- F. **Special Use Permit:** Middleton City Code 1-15-7 sets forth the law on Special Use Permits within City limits. Section 1-15-7 provides specifically:

"1-15-7: SPECIAL USE PERMITS:

A. Description:

- 1. The purpose of review shall be to determine that the characteristics of any such use shall not be unreasonable or incompatible with the type of uses permitted in the area. Nothing construed herein shall be deemed to require the commission to grant a special use permit.*
- 2. Certain types of uses possess unique and special characteristics which require special consideration prior to their being permitted in a particular district. A special use permit may be granted to an applicant if the proposed use is allowed by a special use permit under the land use schedule in section [5-4-1](#), Table 1 of this Code.*
- 3. No building permit shall be issued when a special use permit is required by the terms of this chapter, unless a special use permit has been previously granted by the City and then only in accordance with the terms and conditions of the special use permit.*
- 4. No special use permit shall be transferable from one property to another. In the event the property changes hands, the new owner, if he or she desires to continue the special use, shall appear before the commission for review. Said continuance use shall be subject to the same terms and conditions of the permit.*
- 5. Prior to granting a special use permit, studies may be required of the social, economic, fiscal and environmental effects of the proposed special use.*
- 6. The granting of a special use permit shall not be considered as establishing a binding precedent to grant other special use permits.*

B. Procedures: The commission shall conduct at least one public hearing on the application.

C. Action By Commission: After notice and hearing, the commission may approve, conditionally approve or deny a special use permit application. Whenever the commission approves or denies a permit, it shall specify in writing: 1) the ordinance and standards used in evaluating the application (city code, Idaho Standards for Public Works Construction and Middleton Supplement to the Idaho

Standards for Public Works Construction); 2) the reasons for approval or denial; and 3) if denied, the actions, if any, that the applicant can take to obtain approval. The commission shall make a decision within thirty (30) days of the conclusion of the public hearing.

D. Conditions: Upon granting a special use permit, conditions may be attached to:

- 1. Minimize adverse impact on other development (spaces, fences, parking, traffic flow, etc.).*
- 2. Control the sequence and timing.*
- 3. Control duration of the use.*
- 4. Assure that development is maintained properly.*
- 5. Designate the location and nature of development, including signs.*
- 6. Require the provision for on site or off site public facilities or services.*
- 7. Require more restrictive standards than those generally required in an ordinance (surfacing of parking areas to City specifications, regulation of points of vehicular ingress and egress, landscaping and maintenance, regulation of noise, vibration, odors or other similar nuisances).*
- 8. Specify the period of time for which a permit is issued and conditions which, if not followed, will bring about revocation of the special use permit.*
- 9. Require mitigation of effects of the proposed use upon service delivery by any political subdivision, including school districts, providing services within the planning area of Middleton.*

E. Appeal: An affected person aggrieved by the commission decision may, within fifteen (15) days of the written commission decision, file a written appeal with the City, along with a nonrefundable fee. The Council shall consider the appeal at a noticed public hearing and may approve, approve with conditions or deny the application.”

In short, the Commission will consider whether Ms. Bonane’s proposed daycare involving 13 children is not “unreasonable or incompatible” with the surrounding neighborhood. In other words, is the daycare in harmony with the surrounding neighborhood. The code section allows the Commission to approve the application and apply conditions of approval that will make the special use “reasonable and compatible” with the surrounding neighborhood.

The Commission must also ensure that the special use requested is shown appropriately in the Land Use Schedule as a “special use.” Daycare for 13 children is indeed shown in the Land Use schedule as an “S” (special use) for the R-3 Zone.

A = Allowed uses											
S = Special uses											
Use ^{1,2}	A-R	C-1	C-2	C-3	M-1	M-2	R-1	R-2	R-3	M-F	M-U
Concrete batch plant						S					
Contractor's shop/storage yard				A	A	A					S
Convalescent/nursing home		A	A	A			S	S	S	S	S
Daycare center (13 or more children)		A	A	A	A		A	S	S	A	A
Daycare, facility (7 or more children unrelated to provider)		A	A	A	A		A	S	S	A	A
Daycare, family (6 or fewer children)		A	A	A	A		A	A	A	A	A

- G. Comments Received from Surrounding Landowners:** None.
- H. Comments from Agencies:** Fire Marshall Islas contacted Planning Staff by telephone to report his inability to set up an in-home inspection of the Bonane home despite reaching out to the Applicant.
- I. Comments from City Engineer and Planning Staff:** None (not applicable).
- J. Application Information:** Applicant is Furaha A. Bonane, 105 E. Rose Lake Dr. Application was accepted on 12/13/2022.
- K. Notices & Neighborhood Meeting:**
- | | |
|--------------------------------------|-----------|
| Newspaper Notification | 2/26/2023 |
| Radius notice to adjacent landowners | 2/23/2023 |
| Circulation to Agencies | 2/22/2023 |
| Sign Posting property | 2/22/2023 |
| Neighborhood Meeting | 9/20/2022 |
- (Hearing was continued from the March 13, 2023, regularly scheduled meeting)

L. Applicable Codes and Standards:

Middleton City Code 1-15-7, Idaho State Statute 67-6512 and IDAPA rules regarding daycare.

M. Conclusions and Recommended Conditions of Approval:

The Planning & Zoning Commission will make the final decision and order on this application. It does not proceed to City Council for consideration. Per State law and the Middleton City Code, any final order must be based upon findings of facts and conclusions of law.

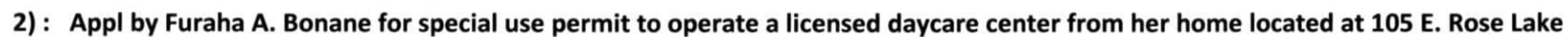
As to Findings of Facts, Planning Staff has set forth above the facts to be considered in the application. Planning Staff further finds that the City does not know if allowing 13 children in the daycare will be in compliance with State Code because Applicant did not schedule an in-home inspection with the Fire Marshall.

As to Conclusions of Law, Planning Staff finds that the Planning & Zoning Commission has the authority to hear the application (MCC 1-5-5). The Commission has the authority to approve the application with or without conditions of approval or deny the application. Additionally, Planning Staff notes that all public notice requirements were met. Planning Staff further set forth the portions of the Idaho State Code and Middleton City Code to be considered in making a recommendation on the application.

Special Use Permit Application: If the Commission is inclined to approve the application, then Planning Staff recommends that any approval be subject to the following conditions:

1. All requirements of the Middleton Rural Fire District are to be completed and approved.
2. All requirements of local, state and federal agencies are to be completed and approved.

Finally, if the Commission denies the application, then the Commission should state what the applicant could do, if anything, to obtain approval. (Middleton City Code 1-14(E)(8)).



Please check

[illegible]

[illegible]



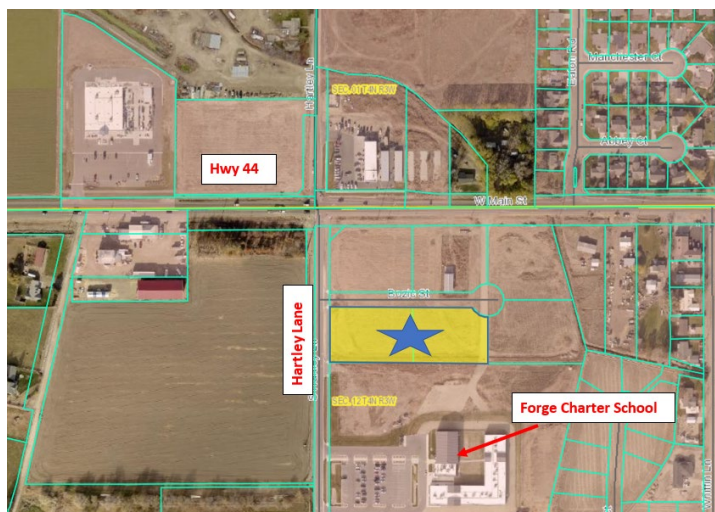
STAFF REPORT

Middleton Design Review Committee

Design Review – Caliber Collision Building Bozic Subdivision



- A. **Design Review Meeting Date:** May 8, 2023
- B. **Project Description and Property Condition:** The Caliber Collision building is proposed on Lots 5 and 6 of the Bozic Subdivision near the intersection of Hartley Lane and Hwy 44 (913 and 957 Bozic Street.) The project parcel is approximately 2.25 acres.



Caliber Collision is a national company that performs auto collision repair, including body work repair, sanding and painting. The proposed building will be 16,345 sf., and

it is equipped with state-of-the-art equipment to mitigate environmental hazards and prevent nuisances to surrounding parcels.

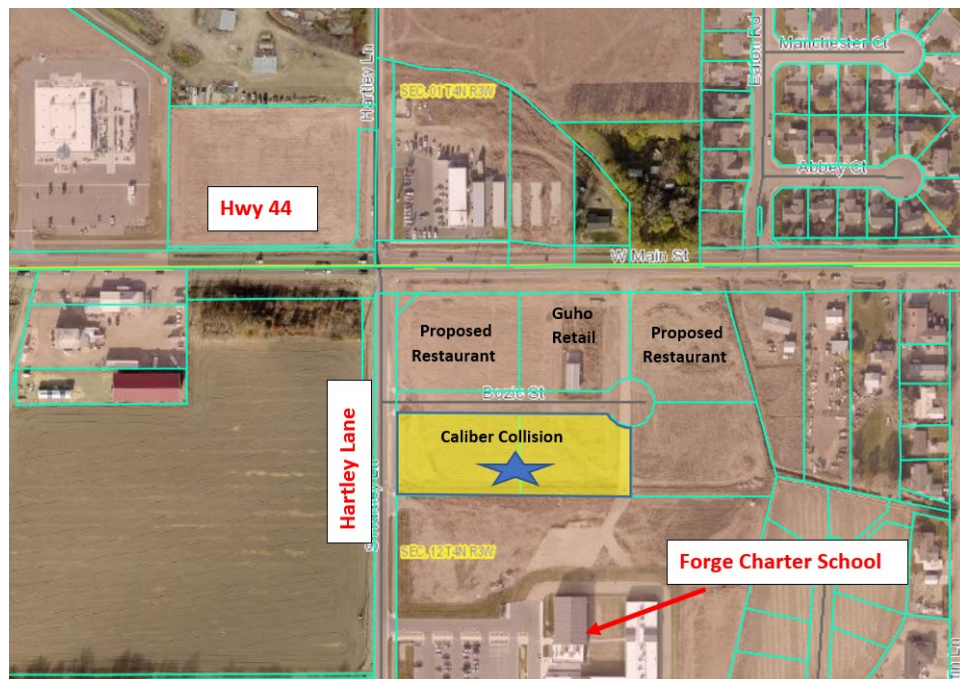
The large building spans over two Bozic Subdivision lots, so a lot consolidation application will be required to consolidate Lots 5 and 6 into a single lot. The lot consolidation application is an administrative application, and Staff must approve it before City will issue the building permit for the Caliber Collision building.

The Bozic subdivision contains four other lots. The Bozic developer has indicated that two of the 4 remaining lots will accommodate new restaurants, and one lot will accommodate the Guho retail building that has already received design review approval. See below.

Guho Retail Building



The locations of the new businesses are shown below:



- C. Zoning & Site Conditions:** The project parcel is approximately 2.25 acres and is zoned M-1 (Light Industrial). Auto repair is an allowed use in the M-1 Zone, so the project use complies with zoning. The proposed building also complies with all dimensional standards and other requirements for M-1 Zoning.
- D. Architectural Character:** MCC 1-15-8-2, requires the project material and colors to be in harmony with the townscape and surrounding neighborhood. Each building must also contain four or more of the following design elements: gable roof, stucco, brick/rock, accenting, metal siding, timberwork, or public art feature.

The Caliber Collision building will be used for a more light industrial use than other buildings slated for the Bozic Subdivision, but Applicant has still tried to make the industrial type building conform to the more “commercial atmosphere” that is being built in the Bozic Subdivision.

The Caliber Collision building technically complies with the Code and contains four of the required materials on the elevation fronting Hartley Lane. The four materials are brick, stucco, stone, and metal pop-outs/accents.



West elevation facing Hartley Lane.

On the north elevation fronting Bozic Street, the four materials are two-tone metal siding, stone, brick, and stucco.

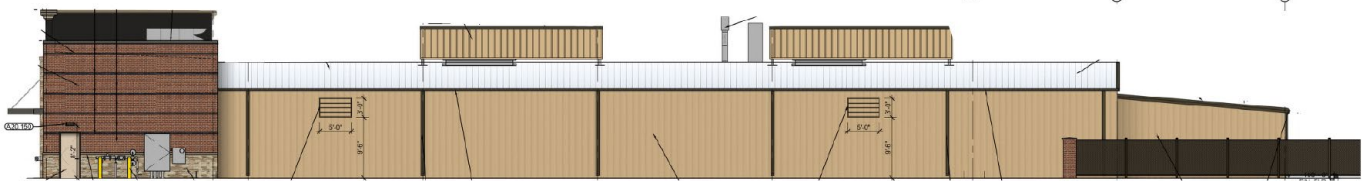


North Elevation facing Bozic Street

The east and south elevations do not front public streets; therefore, the same level of design is not required.



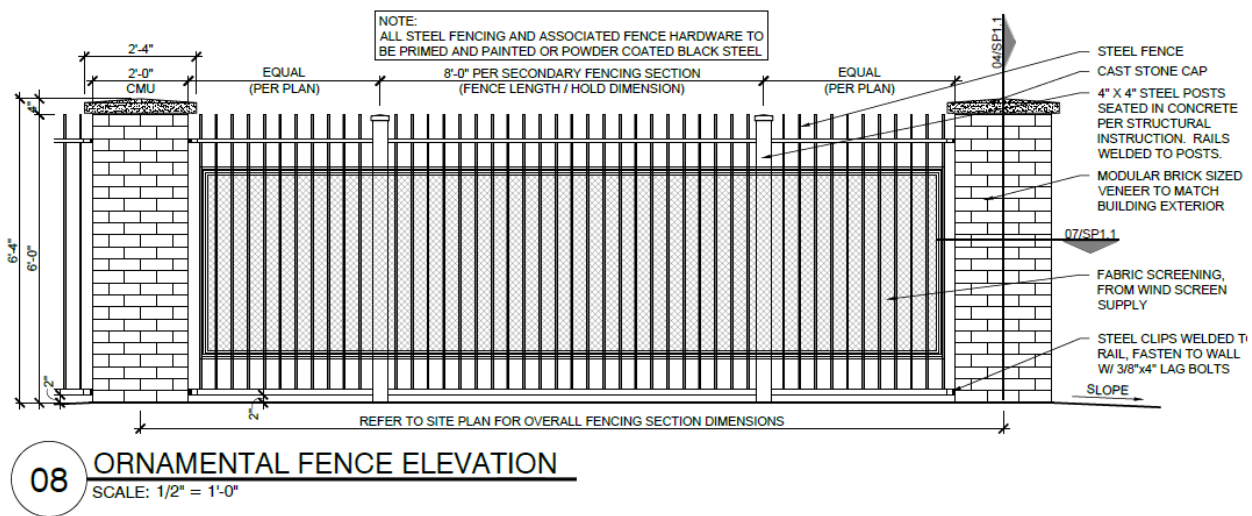
East Elevation

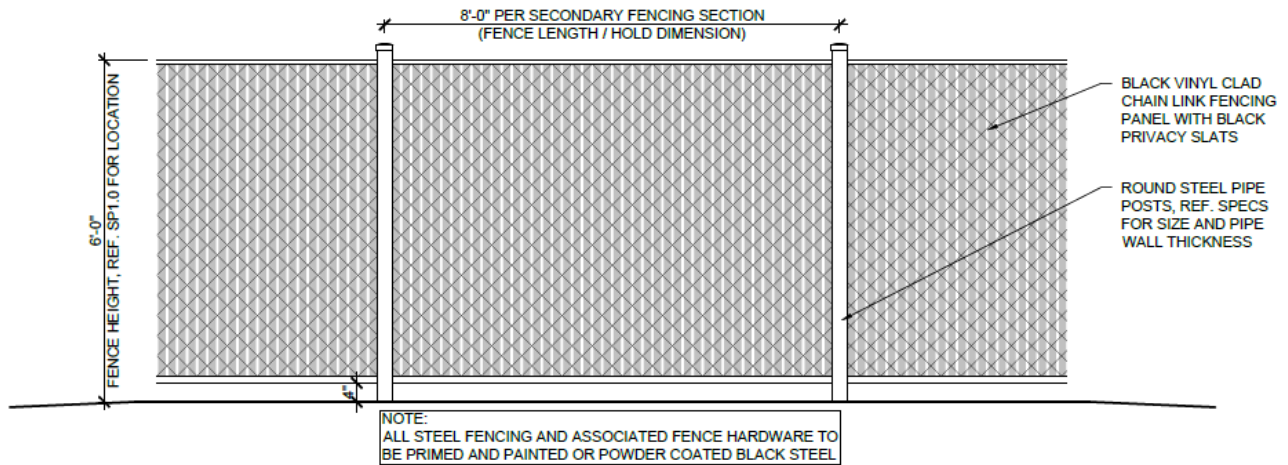


South Elevation facing Forge International School Yard.

[A copy of the Elevation Sheets is attached as Exhibit “A”]

The Caliber Collision facility contains a storage yard for cars undergoing repair. Fencing is required to protect the stored items and obscure the view of the storage yard. Caliber Collision intends to build a wrought iron and brick ornamental fence on the Hartley Lane and Bozic Street sides of the building. The east elevation and south elevation that faces Forge International will be chain link fence with privacy slats.



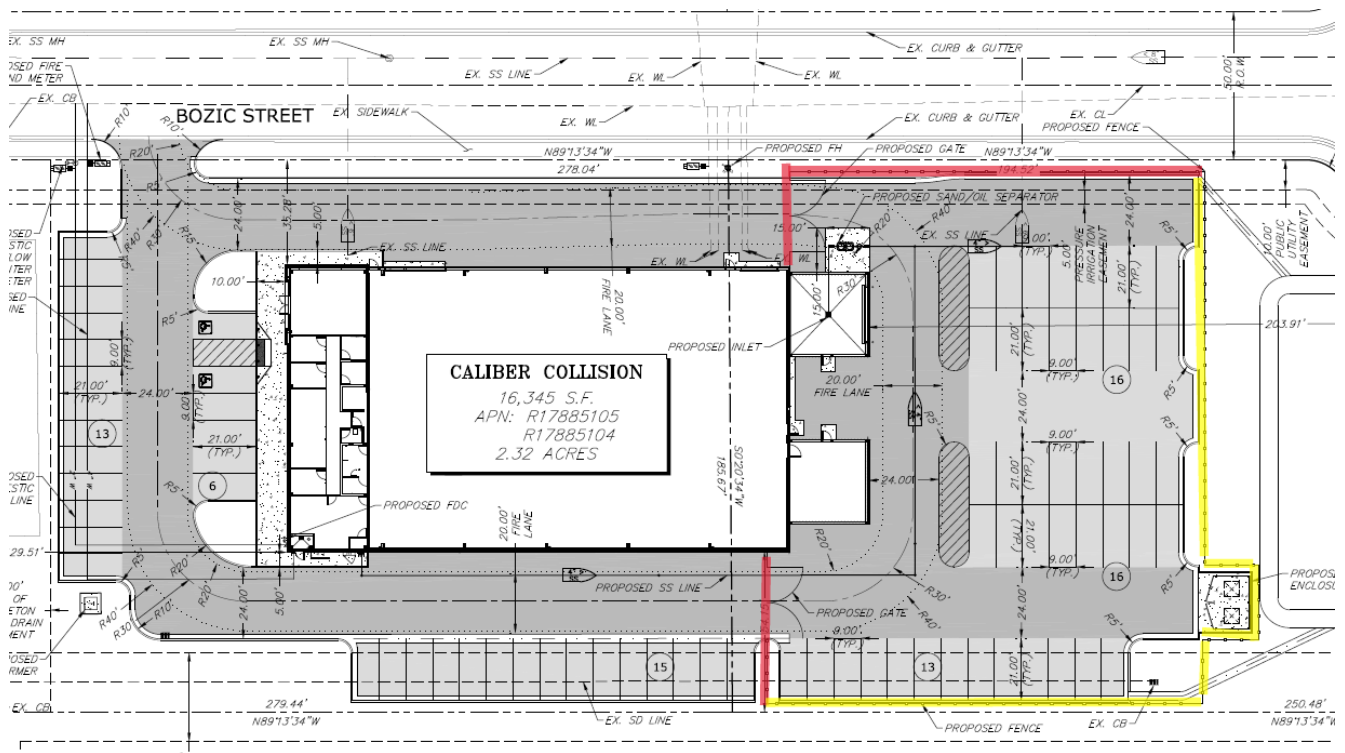


09

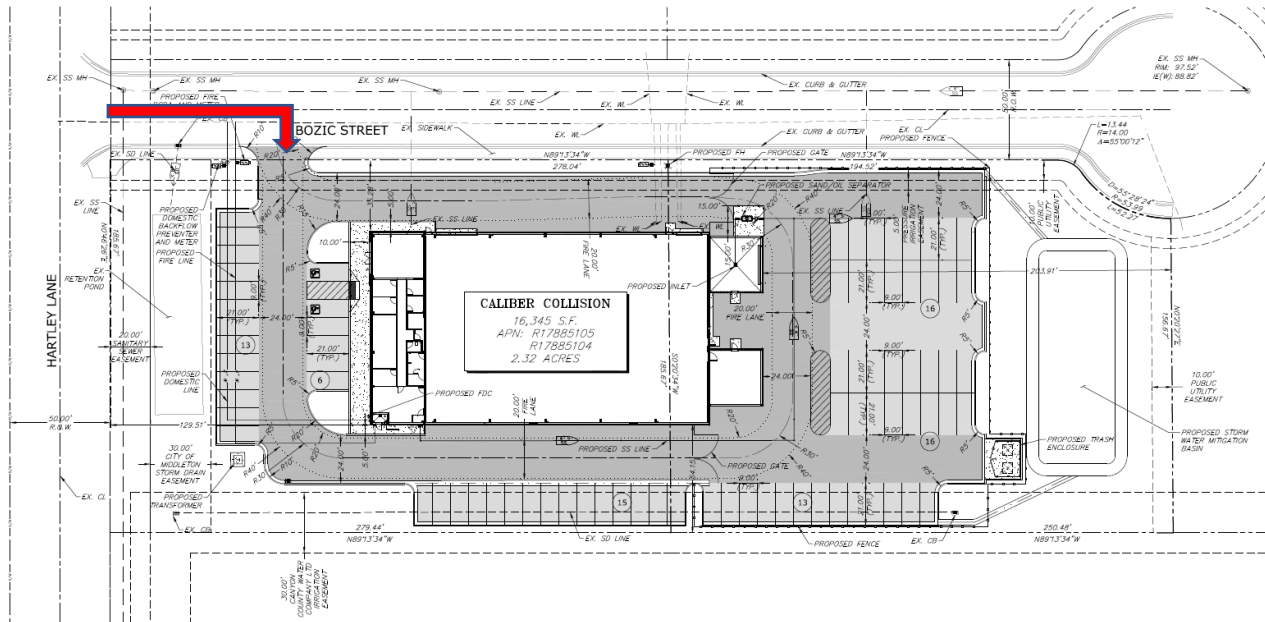
CHAIN LINK FENCE ELEVATION

SCALE: 1/2" = 1'-0"

The location of the fencing is highlighted below. Red highlight is the placement of the ornamental fence. The yellow highlight is the placement of the chain link fence.



E. Streets & Access: Access to the parcel is via Hartley Lane and Bozic Street.



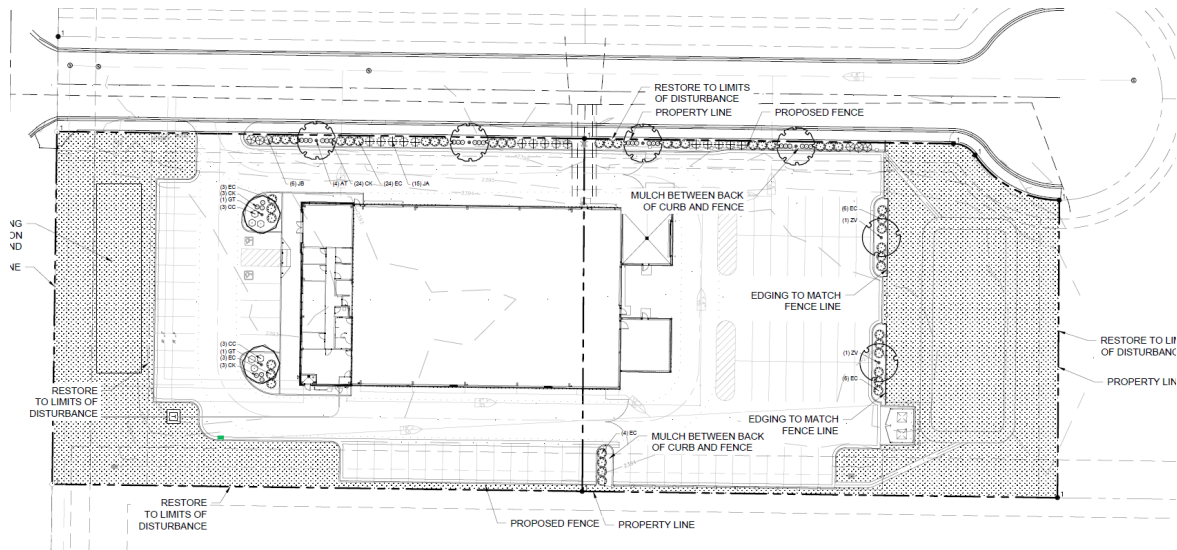
[Larger Site Plan is attached as Exhibit "B"]

- F. Parking:** City code requires one parking stall per 720 s.f. of auto shop floor space. In light of this, the Caliber Collision building requires 23 public parking stalls. Applicant has provided 34 stalls. (See site plan above) The additional stalls shown behind the gated fence are for auto storage, not public parking, so those parking stalls do not count toward the minimum code requirement.
- G. Utilities:** Sewer and water are already located in the Bozic Subdivision and stubbed to this parcel. Any fine-tuning of the utility connections will be handled at the building permit stage by City Engineer and the Public Works Department.
- H. Stormwater:** Stormwater facilities were constructed by the subdivision developer and have already been approved by City Engineer. However, Developer must submit a stormwater facilities design for this specific project parcel. That will occur at the building permit stage. The proposed stormwater facilities may not incorporate the stormwater facilities constructed along Hartley Lane because those facilities have been designed to handle only the run-off from City right of way.
- I. Lighting:** Applicant provided a photometric plan that showed little to no light spillage across the property boundary. Lighting in the City of Middleton must be shielded downward to prevent light pollution.

- J. Landscaping and Fencing:** Applicant submitted a proposed landscape plan dated 4/25/2023. The plan shows sufficient landscaping along the frontage of Bozic Street together with landscape in and around the large retention pond on the eastern part of the project parcel.

[See landscape below. Full copy of the Landscape plan is attached as Exhibit "C".]

A condition of Design Review approval should be compliance with the 4/25/2023 landscape plan.



- K. Irrigation Easement:** A portion of Applicant's storage parking stalls, landscape and fence are in the Canyon County Water Company's irrigation easement. Applicant must provide City with a signed copy of a license agreement allowing Applicant to construct permanent structures in the irrigation company's easement.
- L. Applicable Codes and Standards:** Per MCC 1-15-8-1, a design review is required for all nonresidential structures in Middleton. The applicable Codes and Standards relevant to the review are MCC 1-15, 5-1, and 5-4.
- M. Conclusions and Recommended Conditions of Approval:**

Applicant's Design Review application complies with dimensions and standards of the Middleton City Code for M-1 Zoning. If the Design Review Committee is inclined to approve the application, City Planning Staff recommends that the following Conditions of Approval be made a part of the approval:

1. Applicant must submit and obtain approval of an administrative Lot Consolidation application before City will issue a building permit for the building.
2. Applicant to comply with all Canyon County Water Company irrigation comments.

3. Prior to City issuing a building permit, Applicant must provide City with a copy of an executed and recorded license allowing Applicant to construct permanent structures in the Canyon County Water Company easement.
4. Applicant to comply with all Engineering & Planning Comments
5. Applicant to comply with all Middleton Rural Fire Department comments.
6. Applicant to comply with all comments and requirements of the City Building Department.
7. Applicant to comply with all Middleton City Public Works comments, including possible comments regarding required sewer pre-treatment requirements, required spill response plan and other safety measures.
8. Applicant to submit an Industrial User Survey with the building permit application.
9. Storm facility design must be entirely contained on the project parcel. Storm facility along Hartley Lane may not be used or intermingled with parcel stormdrain design.
10. All storm facilities on site to be landscaped with irrigated landscape and maintained by parcel owner or entity other than City.
11. No visibly damaged vehicles may be stored outside the gated area.
12. Applicant's activities may not create any environmental hazards nor cause a nuisance to the surrounding area.
13. Fence to be ornamental wrought iron fence with brick columns and wind screen on the Bozic Street and Hartley Lane sides of the building. The southern and eastern boundary may be chain link fence with privacy slats.
14. All asphalt must meet the minimum thickness and standards of the City of Middleton
15. All exterior lighting must be downlit
16. Landscape must be installed per the landscape plan dated 4/25/2023.

Prepared by Middleton Planning & Zoning Official,
Roberta Stewart
Dated: May 2, 2023

EXHIBIT "A"

ELEVATION PAGES

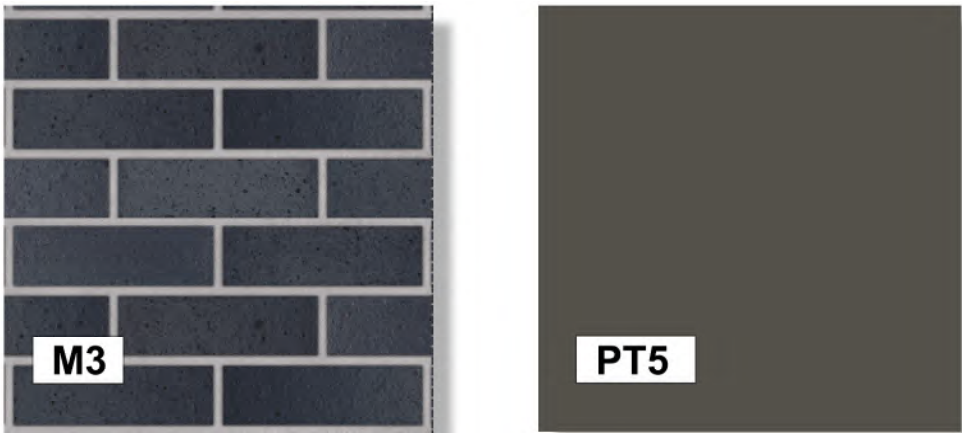
MATERIAL LEGEND



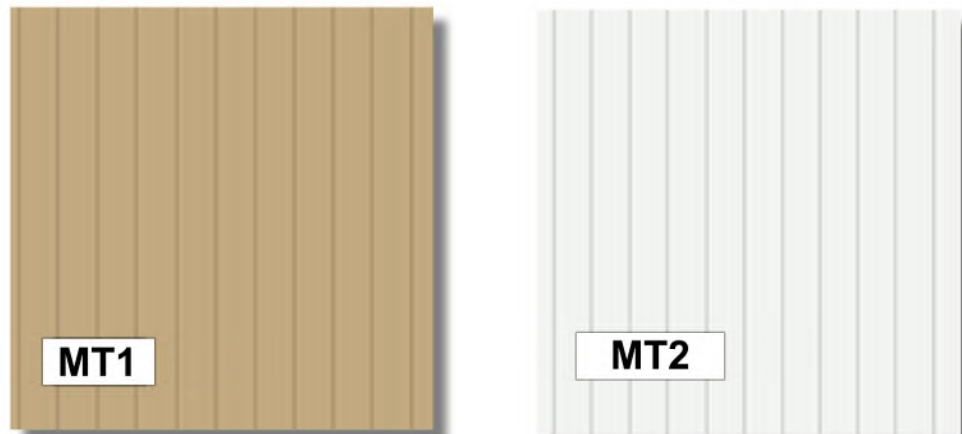
TRICORN BLACK
PAINT
SW NOMADIC DESERT



NATURAL STONE
BRAZOS BLEND
MODULAR BRICK
MEDIUM IRONSPOT



MODULAR BRICK
MANGANESE IRONSPOT
EXPOSED STEEL
URBANE BRONZE



PRE-FINISHED METAL
SIDING "SADDLE TAN"
SPECTRALITE 2000"
STANDING SEAM
METAL ROOF
SOLAR WHITE



PRE-FINISHED METAL
SIDING "BURNISHED SLATE"
SPECTRALITE 2000"



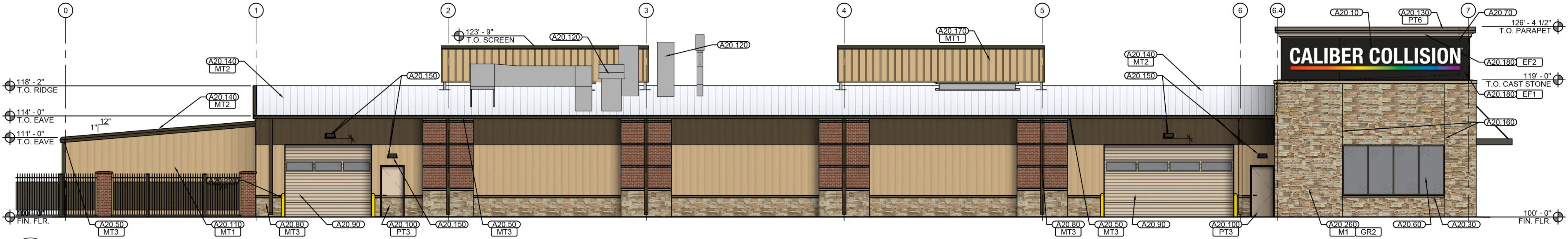
ARCHITECT
BRET FLORY
1913 GARDENGROVE COURT
PLANO, TEXAS 75075
PH: 972.467.9749
bflory@crossarchitects.com

CALIBER COLLISION

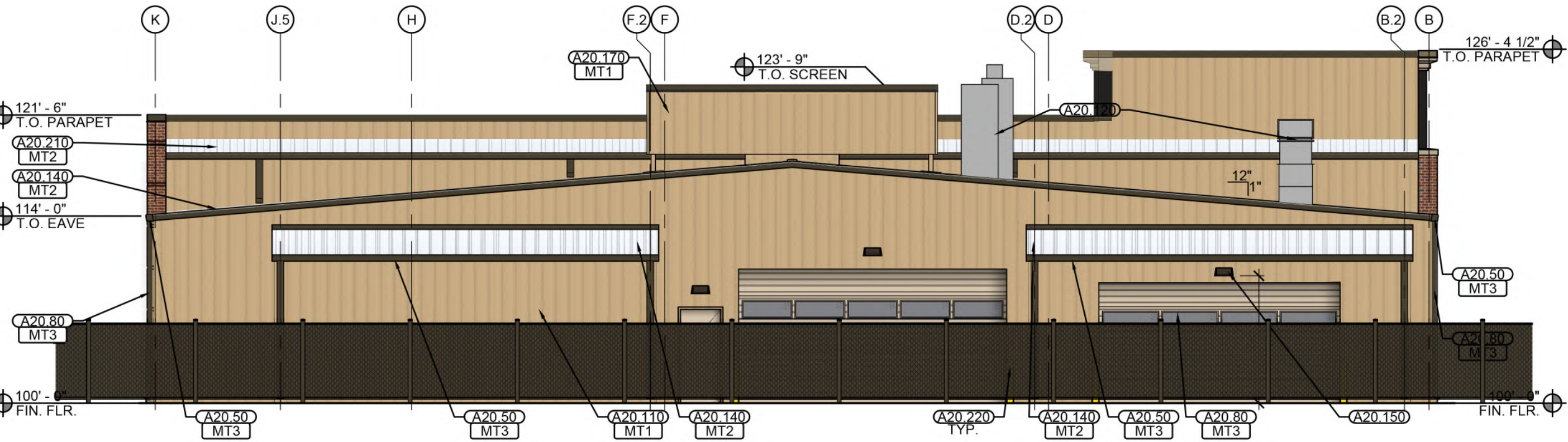
CONCEPTUAL ELEVATIONS

MIDDLETON, ID

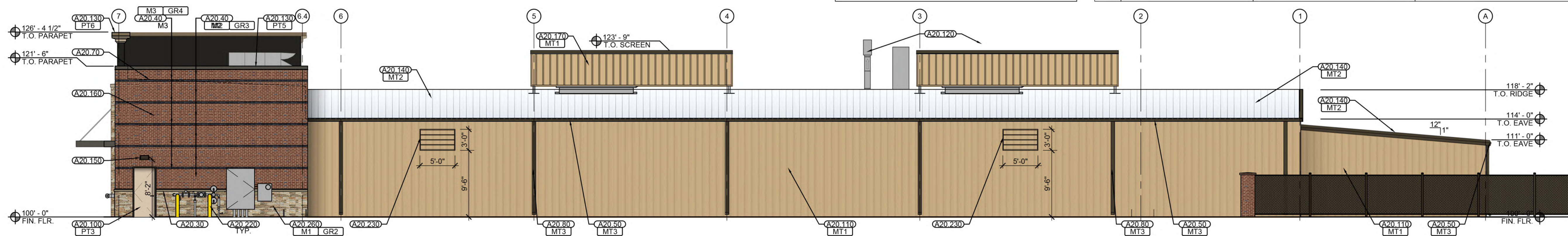
DRAWN	DATE	PROJECT NO.	CITY PROJECT NO.	SHEET NO.
-	23.04.26	22113	-	-



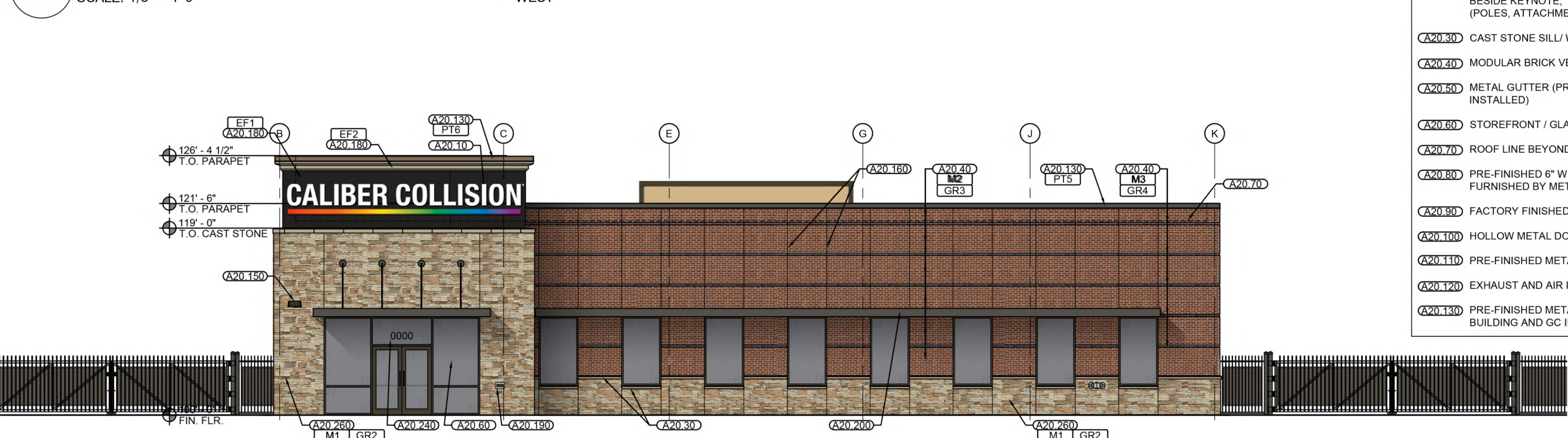
04 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
EAST



03 REAR ELEVATION
SCALE: 1/8" = 1'-0"
NORTH



02 LEFT ELEVATION
SCALE: 1/8" = 1'-0"
WEST



01 FRONT ELEVATION
SCALE: 1/8" = 1'-0"
SOUTH

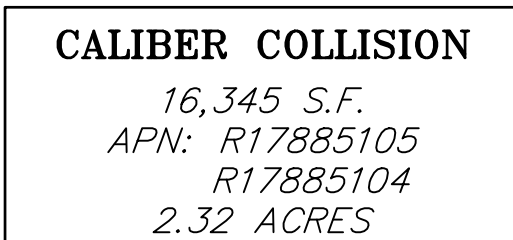
- GENERAL NOTES:
1. DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY.
 2. HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNLESS NOTED OTHERWISE.
 3. CONTRACTOR TO PROVIDE FIRE RETARDANT PLYWOOD BACKING FOR SIGNAGE AS SHOWN. PLYWOOD BACKING TO EXTEND TO WALL EXTENTS.
 4. REF. A1.3 FOR FINISH AND MATERIAL DESIGNATIONS.
 5. ALL EXTERIOR EXPOSED STRUCTURAL STEEL AT FRONT CANOPY TO BE URBANE BRONZE, INCLUDE UNDERSIDE OF DECK.

FINISH KEY	DESCRIPTION/ LOCATION	COLOR	IDENTIFICATION/ FINISH/ STYLE
AL1	STOREFRONT SYSTEM	DARK ANODIZED BRONZE	ALUMINUM FRAME
CS1	CAST STONE (REF. ELEVATIONS)	BUFF	SMOOTH
EF1	EXTERIOR EIFS (TOWER ELEMENT)	TRICORN BLACK (SW 6258)	SAND PEBBLE
EF2	EXTERIOR EIFS (CORNICHE)	CUSTOM MATCH CAST STONE COLOR	SAND PEBBLE
GR2	EXTERIOR MASONRY MORTAR FOR STONE	10X LT. BUFF	TYPE S
GR3	EXTERIOR MASONRY MORTAR FOR BRICK	30X LT. BROWN	TYPE S
GR4	EXTERIOR MASONRY MORTAR FOR BRICK	97X SUPER BLACK	TYPE S
M1	NATURAL STONE	BRAZOS BLEND (CAN BE SUBSTITUTED W/ DEVELOPER APPROVED LOCAL STONE)	NATURAL STONE (SIZES VARY 4", 6", 8", 10", AND 12")
M2	EXTERIOR MASONRY - FIELD	MEDIUM IRON SPOT 46	VELOUR MODULAR BRICK
M3	EXTERIOR MASONRY - ACCENT	MAGNESIUM IRON SPOT	MODULAR BRICK
MT1	PREFINISHED METAL SIDING EXT. WALL R-PANELS	SADDLE TAN	SPECTRALITE 2000
MT2	PREFINISHED METAL ROOFING ROOF PANELS AND REAR CANOPY	SOLAR WHITE	SPECTRALITE 2000
MT3	PREFINISHED SHOP TRIM, GUTTER, DOWNSPOUTS, HORIZONTAL BAND	BURNISHED SLATE	SPECTRALITE 2000
PT3	EXTERIOR DOOR PAINT, INTERIOR SHOP DOOR PAINT	NOMADIC DESERT	SW 6107 - EXTERIOR LOW SHEEN - UDB
PT5	EXTERIOR EXPOSED STEEL	URBANE BRONZE	SW 7048 - EXTERIOR LOW SHEEN - UDB
PT6	EXTERIOR FINISH	SURREY BEIGE	SW 9116 - EXTERIOR LOW SHEEN - UDB

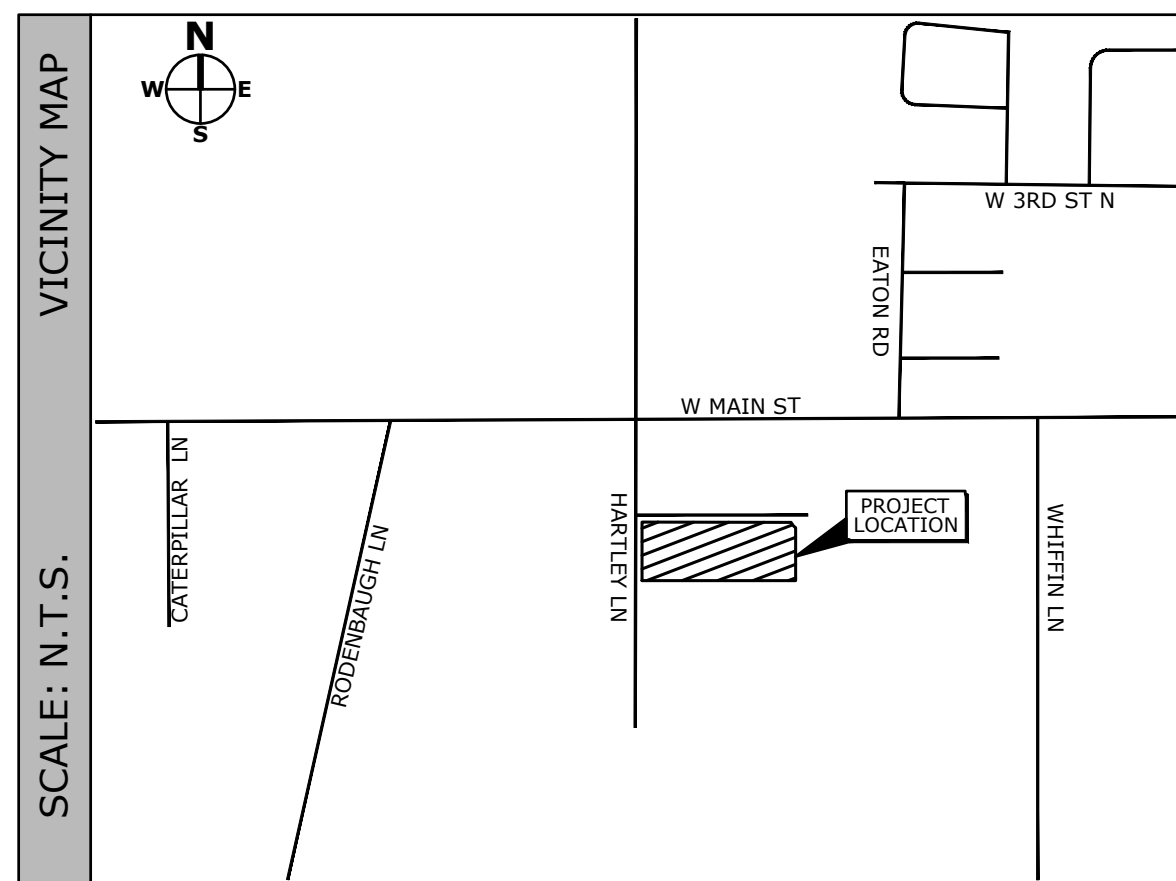
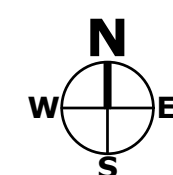
- KEY NOTES:
- A20.10 SIGNAGE (BY OTHERS)
 - A20.20 BLACK WROUGHT IRON FENCE AND GATE. HEIGHT NOTED BESIDE KEYNOTE. PAINT ALL FENCE PARTS BLACK (POLES, ATTACHMENTS, ETC.)
 - A20.30 CAST STONE SILL/ WATER TABLE
 - A20.40 MODULAR BRICK VENEER
 - A20.50 METAL GUTTER (PROVIDED BY METAL BUILDING AND GC INSTALLED)
 - A20.60 STOREFRONT / GLAZING
 - A20.70 ROOF LINE BEYOND
 - A20.80 PRE-FINISHED 6" W x 4" D (SQUARE) METAL DOWNSPOUT, FURNISHED BY METAL BUILDING AND GC INSTALLED
 - A20.90 FACTORY FINISHED OVERHEAD DOOR, DESERT TAN
 - A20.100 HOLLOW METAL DOOR AND FRAME
 - A20.110 PRE-FINISHED METAL BUILDING SIDING
 - A20.120 EXHAUST AND AIR INTAKE (REF. PAINT BOOTH DRAWINGS)
 - A20.130 PRE-FINISHED METAL COPING, PROVIDED BY METAL BUILDING AND GC INSTALLED
 - A20.140 PRE-FINISHED METAL BUILDING "R" PANEL ROOFING
 - A20.150 WALL MOUNTED LIGHT FIXTURE (REF. MEP)
 - A20.160 CONTROL JOINT
 - A20.170 METAL EQUIPMENT SCREENING, OUTWARD FACE OF ALL SCREENING TO BE R-PANEL, ALL SUPPORT FRAMING TO BE PRIMED AND PAINTED TO MATCH WALLS
 - A20.180 EIFS VENEER
 - A20.190 KEYKEEPER WB, PROVIDED & INSTALLED BY G.C.
 - A20.200 PRE-FINISHED METAL AWNING
 - A20.210 PRE-FINISHED METAL STANDING SEAM ROOFING
 - A20.220 CONCRETE FILLED STEEL BOLLARD, REF. 04/SP1.2
 - A20.230 60" X 36" LOUVERS, PROVIDE FRAMED OPENINGS - MATCH ADJACENT MATERIAL, REF. MEP
 - A20.240 STREET ADDRESS NUMBERS TO BE SIZED AND COLORS TO BE APPROVED BY FIRE MARSHAL
 - A20.250 FACTORY FINISH COILING OVERHEAD DOOR, DESERT TAN
 - A20.260 NATURAL STONE VENEER

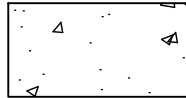


EXHIBIT "B"

SITE PLAN



SCALE: 1" = 30'-0"



<h1>PROJECT LEGEND</h1>	
A.P.N.:	R17885105 R17885104
PARCEL ZONING:	I-P
SITE SETBACKS:	
FRONT YARD:	= 0 FEET
SIDE YARD:	= 0 FEET
BACK YARD:	= 0 FEET
EXISTING CONDITIONS:	
BUILDING AREA:	0 S.F.
LANDSCAPE AREA:	97,203 S.F.
IMPERVIOUS AREA:	<u>94 S.F.</u>
TOTAL:	97,247 S.F.
PROPOSED CONDITIONS:	
BUILDING AREA:	16,184 S.F.
LANDSCAPE AREA:	33,896 S.F.
IMPERVIOUS AREA:	<u>42,123 S.F.</u>
TOTAL:	97,247 S.F.
PARKING REQUIREMENTS:	
1 SPACE / 725 S.F.	23 SPACES
PARKING PROVIDED:	80 STALLS
STANDARD STALLS	32 STALLS
HANDICAP STALLS	2 STALLS
STORAGE STALL	46 STALLS
	CONCRETE
	HEAVY DUTY ASPHALT (4" OF AC ON 4" OF BASE)
	LIGHT DUTY ASPHALT (3" OF AC ON 4" OF BASE)

NOTES:

1. STORMWATER MANAGEMENT AREA TO BE DEVELOPED WITH DROUGHT TOLERANT TURF/GRASS FOR PERMANENT WATER QUALITY BMP


SHEET:		C2.1											
SHEET TITLE:		SITE PLAN											
SUBMITTAL RECORD:		<table><tr><td>#:</td><td>23047</td></tr><tr><td>DATE:</td><td>SUBMITTAL</td></tr><tr><td>4/13/23</td><td>DESIGN REVIEW</td></tr><tr><td>4/18/23</td><td>80% SET</td></tr><tr><td>4/25/23</td><td>DESIGN REVIEW</td></tr></table>		#:	23047	DATE:	SUBMITTAL	4/13/23	DESIGN REVIEW	4/18/23	80% SET	4/25/23	DESIGN REVIEW
#:	23047												
DATE:	SUBMITTAL												
4/13/23	DESIGN REVIEW												
4/18/23	80% SET												
4/25/23	DESIGN REVIEW												
PROJECT/CLIENT:		<div><div><div>Caliber Collision</div><div>Middleton, Idaho</div></div><div><div>Cross Architects</div><div>1255 West 15th Street, Suite 125, Plano, Texas 75075</div></div></div>											
DESIGNER:		<div><div></div><div><div>TECTONICS</div><div>DESIGN GROUP</div></div><div><div>730 Sandhill Road, Suite 250, Reno, NV 89521</div><div>tel 775-824-9988</div><div>fax 775-824-9986</div><div>www.tectonicsdesigngroup.com</div></div></div>											
STAMP:		<div><div>PRELIMINARY</div><div><div><div>DRAWN:</div><div>DESIGNED:</div><div>CHECKED/STAMPED:</div></div><div><div>MATT K. RASMUSSEN, P.E.</div><div>J.W.R.</div><div>S.W.T.</div></div></div></div>											
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EXHIBIT C

Landscape Plan

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PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

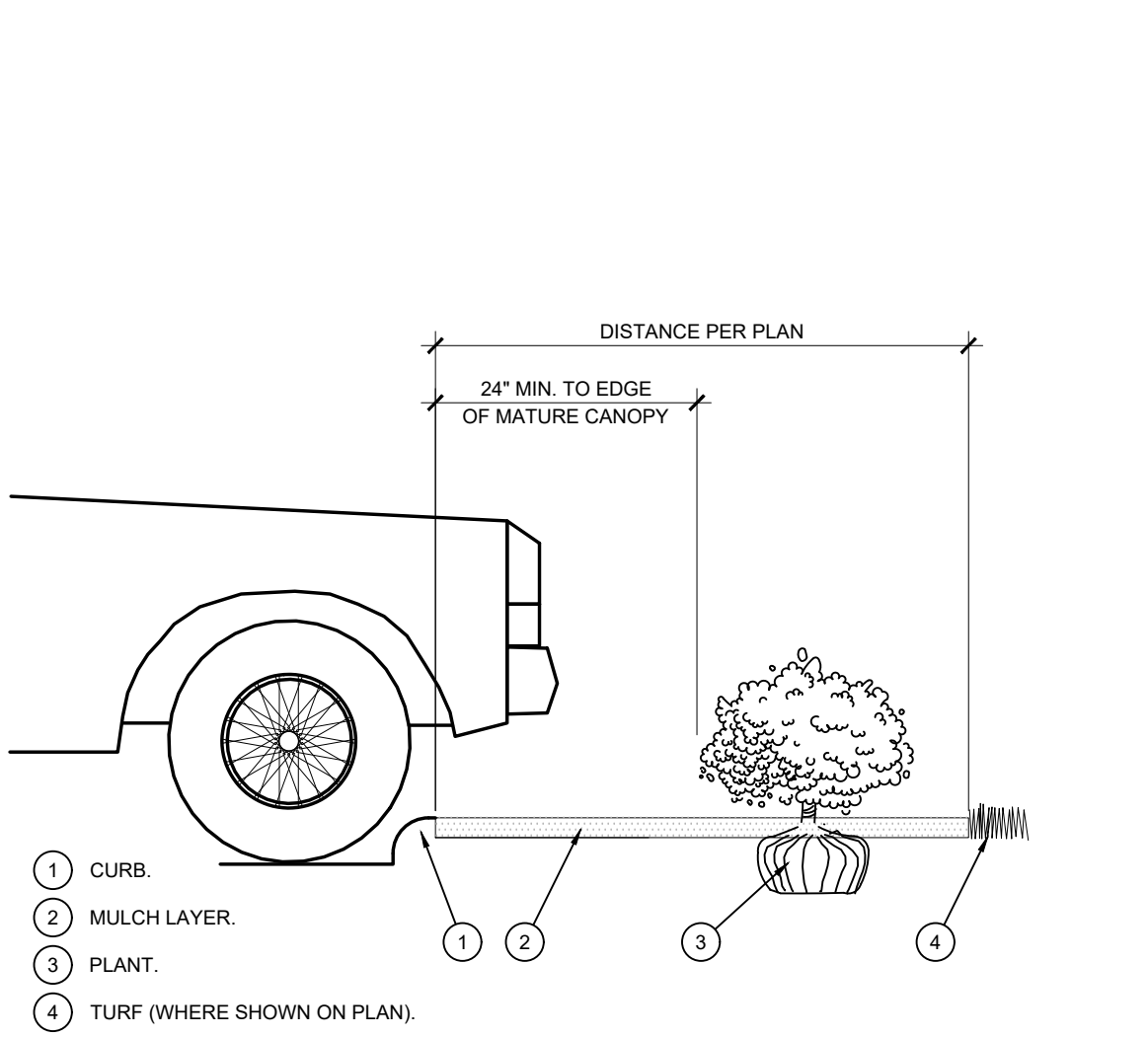
PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POD-BOUND, FREE FROM ENCIRCLED ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS OR DISTURBANCES (SUCH AS J-SHAPED ROOTS).
 3. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE JUDGING AUTHORITY IN ALL MATTERS OF PLANT MATERIAL.
 4. ALL TREES SHALL BE STAKED IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 5. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 6. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
 7. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 6. MOISTURE CONTENT IS TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECIGRAMS/L; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS; FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- I. WEED FABRIC: 5 OUNCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).
- J. TREE STAKING AND GUYING
1. STAKES: 6" LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- M. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- N. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

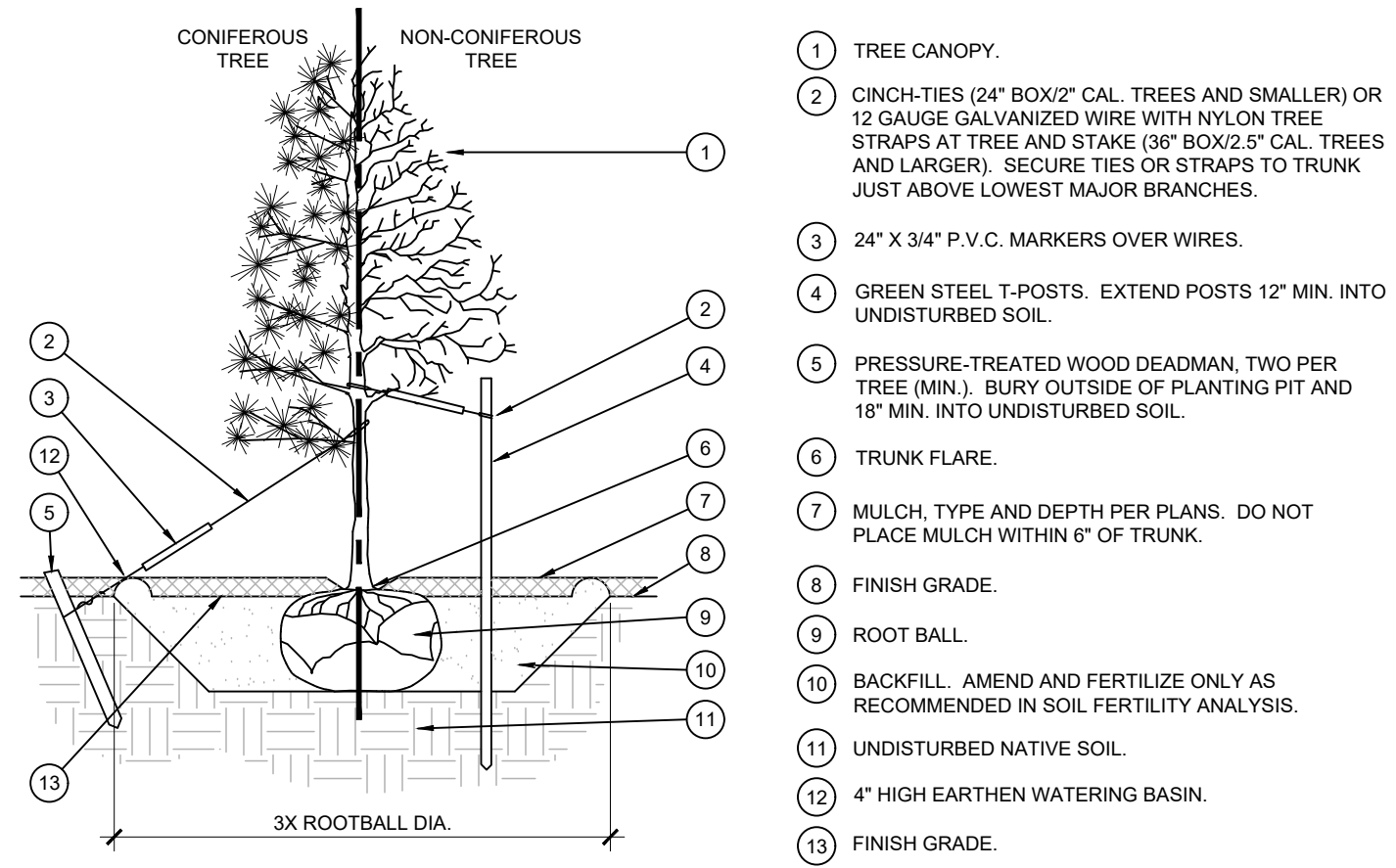
- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
 - b. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.
 - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
 5. CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 8" OF SOIL.

- B. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCING EXISTING TREES
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
 4. TREE PLANTING
 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
 2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE.
 3. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 4. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT TEAR UP ROOTS OUT FROM THE ROOTBALL.
 5. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 6. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 7. THE TOTAL NUMBER TO TREE STAKES (BY NUMBER LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 1"-2" TREES TWO STAKES PER TREE
 - b. 2-1/2" 4" TREES THREE STAKES PER TREE
 - c. TREES OVER 4" CALIPER GUY AS NEEDED
 - d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 5. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
 1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- E. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. PROVIDE A STRAIGHT, CLEAN-CUT EDGE OF EXISTING TURF TO WHICH NEW SOD CAN BE ABUTTED.
 4. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 5. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 6. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- F. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- G. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN REINSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- H. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDDED OR RESEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- I. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- J. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



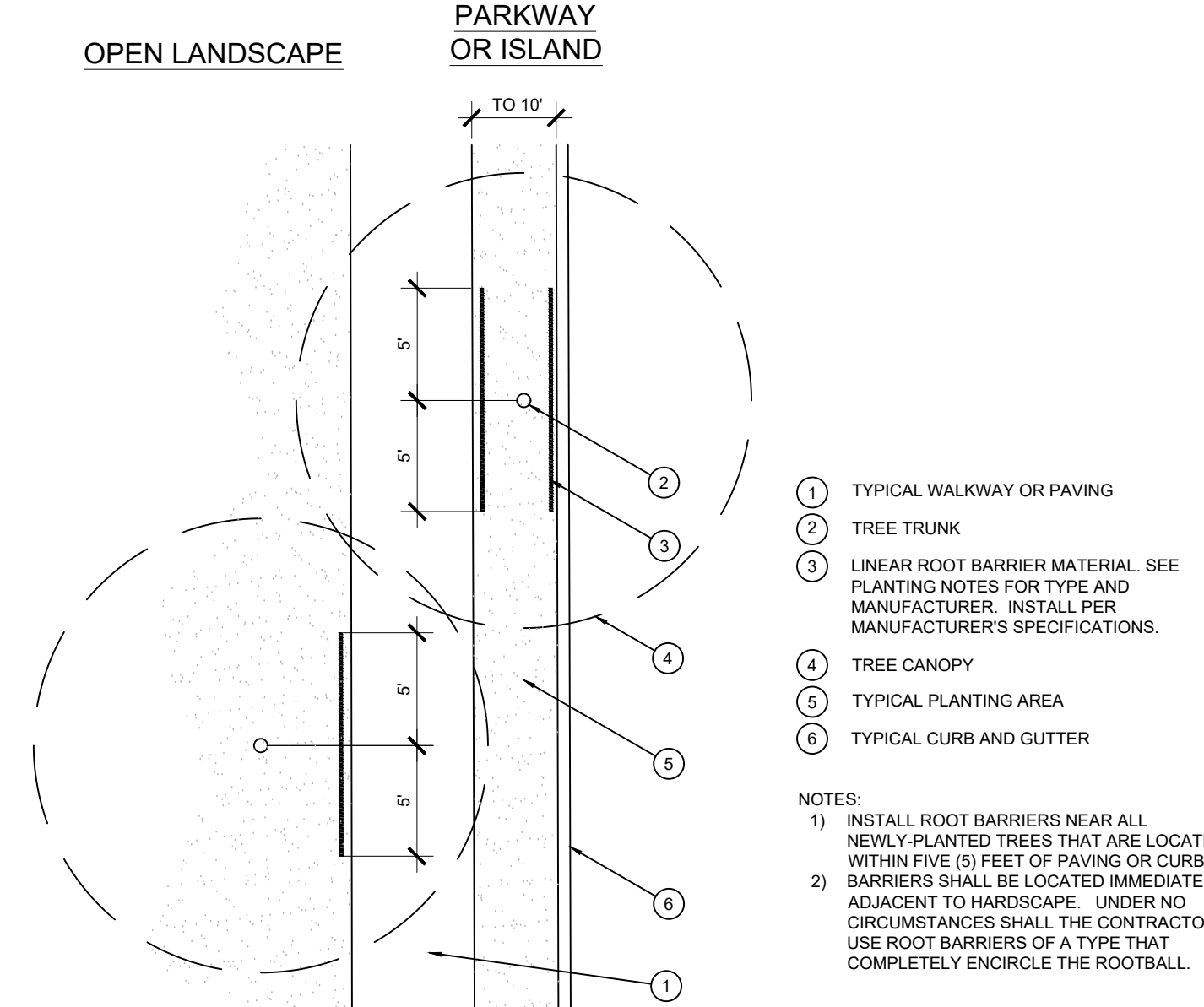
C PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



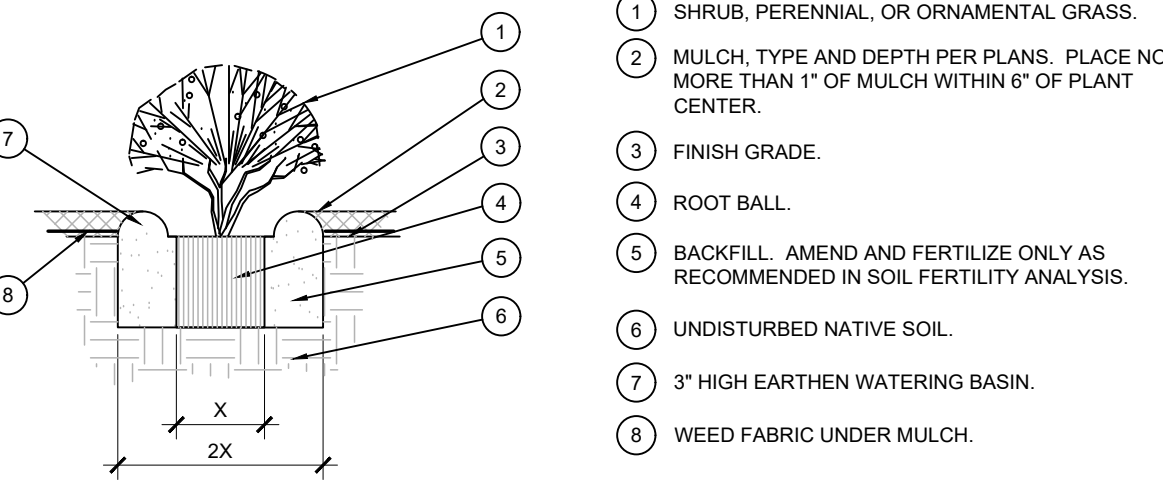
A TREE PLANTING

SCALE: NOT TO SCALE



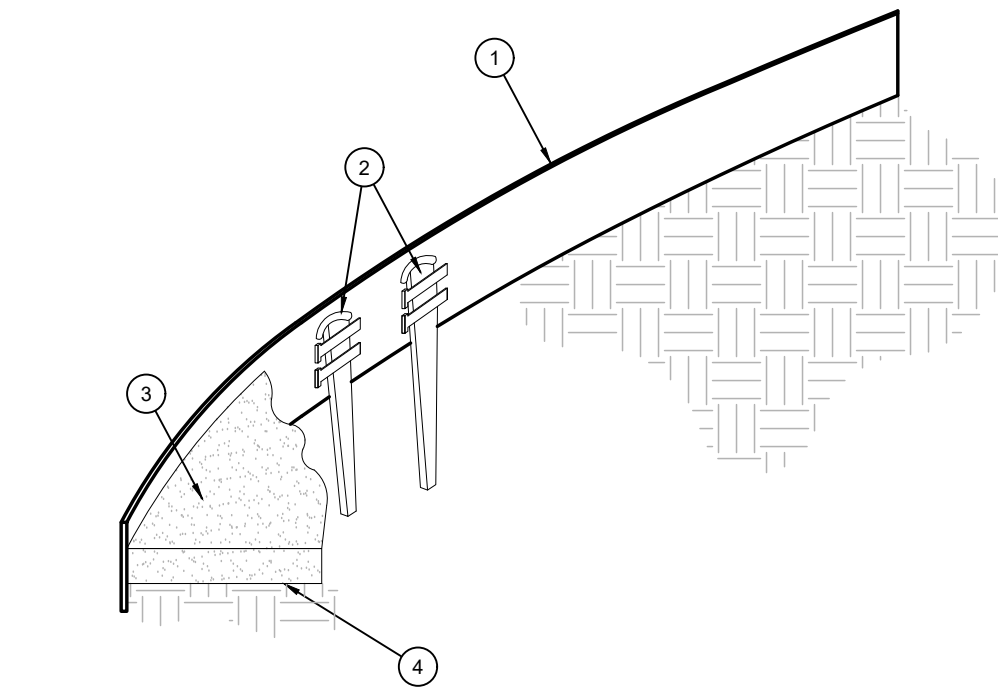
B ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE



D SHRUB AND PERENNIAL PLANTING

SCALE: NTS



E STEEL EDGING

SCALE: NOT TO SCALE



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MIDDLETON, ID

DATE: 04/13/23

PROJECT NUMBER: 22113

ISSUE LOG

NO DATE

DRAWINGS ISSUED FOR:

REVIEW

SHEET NUMBER

LP-2
LANDSCAPE
DETAILS AND
SPECIFICATIONS

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STAFF REVIEW AND REPORT Middleton Planning and Zoning Commission

Special Use Permit Application (Furaha A. Bonane Daycare – 105 E. Rose Lake Dr.)

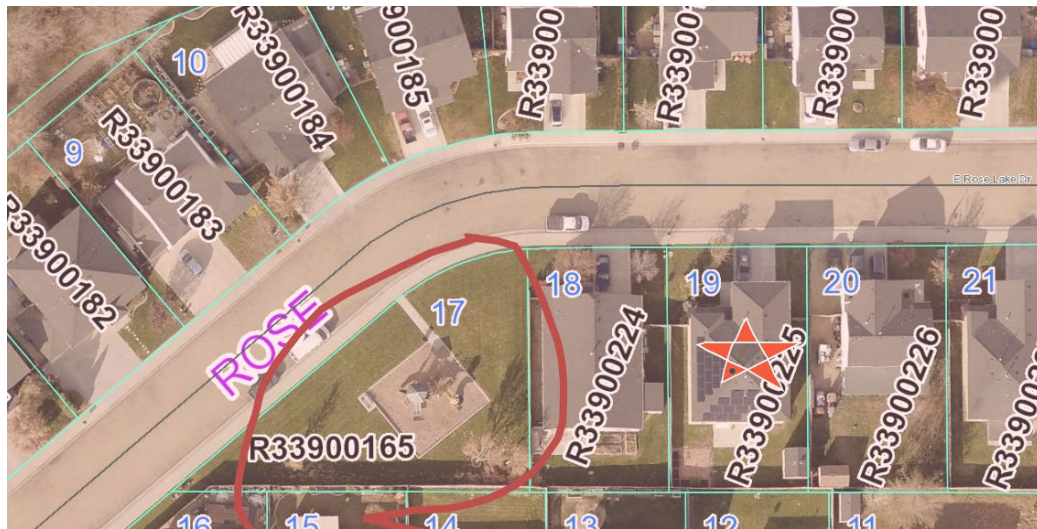


- A. **Planning & Zoning Commission Hearing Date:** April 10, 2023
- B. **Application & Description:** Application by Furaha A. Bonane for special use permit to operate a daycare in her home located at 105 E. Rose Lake Dr. (Middleton Lakes Subdivision). Applicant is requesting a permit to care for up to 13 children. Ages of the children are newborn to 13 years old. Applicant also has four other children in the

home who are related to her. Their ages are 17, 15, 13 and 7 years old. Ms. Bonane will be the only care provider in the home. There will be no additional employees.

The home is 5500 s.f., not including the garage. Proposed daycare hours are 7 a.m. to 5 p.m., Monday through Friday. Applicant will be responsible for picking up and dropping off the children. (During the hearing, Applicant should be able to elaborate on the plan for pick up and drop off.)

Applicant proposes using a nearby subdivision park as the outdoor play area as shown below.



Staff requested Applicant to schedule an in-home inspection by Middleton Fire Marshall Victor Islas. Fire Marshall will apply the requirements of the Idaho State Code to determine how many children Ms. Bonane can safely care for at any one time. The number is determined by square footage of usable space and other considerations detailed in the Code.

Ms. Bonane's representative indicated that they would set up the inspection and had the ability to set up the inspection. However, they have failed to schedule an inspection with the Fire Marshall.

Planning Staff cannot confirm that Ms. Bonane is allowed, under the State Code, to have up to 13 children in her in-home daycare.

- C. Current Zoning, Land Use & Property Condition:** The property is currently zoned R-3 (Single Family Residential). A single family home is located on the lot. The lot is surrounded on all sides by R-3 zoning and single family homes.

- D. **City Services:** The lot is located in an established neighborhood, so water, sewer, police and fire protection are already servicing the subject lot.
- E. **Traffic, Access & Streets:** Depending upon Applicant's description at the public hearing of pick-up and drop-off procedures, traffic and access may be an issue.
- F. **Special Use Permit:** Middleton City Code 1-15-7 sets forth the law on Special Use Permits within City limits. Section 1-15-7 provides specifically:

"1-15-7: SPECIAL USE PERMITS:

A. Description:

1. The purpose of review shall be to determine that the characteristics of any such use shall not be unreasonable or incompatible with the type of uses permitted in the area. Nothing construed herein shall be deemed to require the commission to grant a special use permit.

2. Certain types of uses possess unique and special characteristics which require special consideration prior to their being permitted in a particular district. A special use permit may be granted to an applicant if the proposed use is allowed by a special use permit under the land use schedule in section [5-4-1](#), Table 1 of this Code.

3. No building permit shall be issued when a special use permit is required by the terms of this chapter, unless a special use permit has been previously granted by the City and then only in accordance with the terms and conditions of the special use permit.

4. No special use permit shall be transferable from one property to another. In the event the property changes hands, the new owner, if he or she desires to continue the special use, shall appear before the commission for review. Said continuance use shall be subject to the same terms and conditions of the permit.

5. Prior to granting a special use permit, studies may be required of the social, economic, fiscal and environmental effects of the proposed special use.

6. The granting of a special use permit shall not be considered as establishing a binding precedent to grant other special use permits.

B. Procedures: *The commission shall conduct at least one public hearing on the application.*

C. Action By Commission: *After notice and hearing, the commission may approve, conditionally approve or deny a special use permit application. Whenever the commission approves or denies a permit, it shall specify in writing: 1) the ordinance and standards used in evaluating the application (city code, Idaho Standards for Public Works Construction and Middleton Supplement to the Idaho*

Standards for Public Works Construction); 2) the reasons for approval or denial; and 3) if denied, the actions, if any, that the applicant can take to obtain approval. The commission shall make a decision within thirty (30) days of the conclusion of the public hearing.

D. Conditions: Upon granting a special use permit, conditions may be attached to:

- 1. Minimize adverse impact on other development (spaces, fences, parking, traffic flow, etc.).*
- 2. Control the sequence and timing.*
- 3. Control duration of the use.*
- 4. Assure that development is maintained properly.*
- 5. Designate the location and nature of development, including signs.*
- 6. Require the provision for on site or off site public facilities or services.*
- 7. Require more restrictive standards than those generally required in an ordinance (surfacing of parking areas to City specifications, regulation of points of vehicular ingress and egress, landscaping and maintenance, regulation of noise, vibration, odors or other similar nuisances).*
- 8. Specify the period of time for which a permit is issued and conditions which, if not followed, will bring about revocation of the special use permit.*
- 9. Require mitigation of effects of the proposed use upon service delivery by any political subdivision, including school districts, providing services within the planning area of Middleton.*

E. Appeal: An affected person aggrieved by the commission decision may, within fifteen (15) days of the written commission decision, file a written appeal with the City, along with a nonrefundable fee. The Council shall consider the appeal at a noticed public hearing and may approve, approve with conditions or deny the application.”

In short, the Commission will consider whether Ms. Bonane’s proposed daycare involving 13 children is not “unreasonable or incompatible” with the surrounding neighborhood. In other words, is the daycare in harmony with the surrounding neighborhood. The code section allows the Commission to approve the application and apply conditions of approval that will make the special use “reasonable and compatible” with the surrounding neighborhood.

The Commission must also ensure that the special use requested is shown appropriately in the Land Use Schedule as a “special use.” Daycare for 13 children is indeed shown in the Land Use schedule as an “S” (special use) for the R-3 Zone.

Use ^{1,2}	A-R	C-1	C-2	C-3	M-1	M-2	R-1	R-2	R-3	M-F	M-U
Concrete batch plant						S					
Contractor's shop/storage yard				A	A	A					S
Convalescent/nursing home		A	A	A			S	S	S	S	S
Daycare center (13 or more children)		A	A	A	A		A	S	S	A	A
Daycare, facility (7 or more children unrelated to provider)		A	A	A	A		A	S	S	A	A
Daycare, family (6 or fewer children)		A	A	A	A		A	A	A	A	A

- G. Comments Received from Surrounding Landowners:** None.
- H. Comments from Agencies:** Fire Marshall Islas contacted Planning Staff by telephone to report his inability to set up an in-home inspection of the Bonane home despite reaching out to the Applicant.
- I. Comments from City Engineer and Planning Staff:** None (not applicable).
- J. Application Information:** Applicant is Furaha A. Bonane, 105 E. Rose Lake Dr. Application was accepted on 12/13/2022.
- K. Notices & Neighborhood Meeting:**
- | | Dates: |
|--------------------------------------|---------------|
| Newspaper Notification | 2/26/2023 |
| Radius notice to adjacent landowners | 2/23/2023 |
| Circulation to Agencies | 2/22/2023 |
| Sign Posting property | 2/22/2023 |
| Neighborhood Meeting | 9/20/2022 |
- (Hearing was continued from the March 13, 2023, regularly scheduled meeting)

L. Applicable Codes and Standards:

Middleton City Code 1-15-7, Idaho State Statute 67-6512 and IDAPA rules regarding daycare.

M. Conclusions and Recommended Conditions of Approval:

The Planning & Zoning Commission will make the final decision and order on this application. It does not proceed to City Council for consideration. Per State law and the Middleton City Code, any final order must be based upon findings of facts and conclusions of law.

As to Findings of Facts, Planning Staff has set forth above the facts to be considered in the application. Planning Staff further finds that the City does not know if allowing 13 children in the daycare will be in compliance with State Code because Applicant did not schedule an in-home inspection with the Fire Marshall.

As to Conclusions of Law, Planning Staff finds that the Planning & Zoning Commission has the authority to hear the application (MCC 1-5-5). The Commission has the authority to approve the application with or without conditions of approval or deny the application. Additionally, Planning Staff notes that all public notice requirements were met. Planning Staff further set forth the portions of the Idaho State Code and Middleton City Code to be considered in making a recommendation on the application.

Special Use Permit Application: If the Commission is inclined to approve the application, then Planning Staff recommends that any approval be subject to the following conditions:

1. All requirements of the Middleton Rural Fire District are to be completed and approved.
2. All requirements of local, state and federal agencies are to be completed and approved.

Finally, if the Commission denies the application, then the Commission should state what the applicant could do, if anything, to obtain approval. (Middleton City Code 1-14(E)(8)).