
**MIDDLETON CITY PLANNING AND ZONING
COMMISSION MINUTES
MAY 8, 2023**

Pledge of Allegiance, Roll Call & Call to Order: The May 8, 2023, Planning and Zoning Commission Meeting was called to order by Chairman Summers at 5:30 p.m. Commissioners Summers, Crofts, Christiansen, Tremble, and Watkins were present. Planning & Zoning Official Ms. Stewart, Planning Deputy Clerk Ms. Day were also present.

Action Items:

1. **Consent Agenda (items of routine administrative business)**
 - a. **Consider approving minutes for April 10, 2023, regular meeting.**

Motion: Motion by Commissioner Christiansen to approve the consent agenda items 1a. Motion seconded by Commissioner Watkins and approved unanimously.

2. **Public Meeting: Consider approval of the Design Review application for Caliber Collision proposed on Lots 5 & 6 of the Bozic Subdivision (913 & 957 Bozic Street).**

Ms. Stewart presented a PowerPoint presentation of the Staff Report. (Exhibit A)

Applicant reported on the Design Review application.

Brief discussion between the commissioners, the applicant, and Ms. Stewart.

Motion: Motion by Commissioner Tremble to approve Design Review application for Caliber Collision proposed on lots 5 & 6 of Bozic Subdivision (913 & 957 Bozic Street). Motion seconded by Commissioner Crofts and approved unanimously.

3. **Public Hearing: (Continued from April 10, 2023) Application by Furaha A. Bonane for special use permit to operate a licensed daycare center from her home located at 105 E. Rose Lake Drive, Middleton, Idaho (Middleton Lakes Subdivision). The operation will provide daycare for up to 13 children that are unrelated to Ms. Bonane. The hours of operation will be 7:00 a.m. to 5:00 p.m., Monday through Friday**

Chairman Summers opened the public hearing at 6:03 p.m.

Ms. Stewart reported that not all requirements were fulfilled on the applicant's agreement from the April 10, 2023, meeting.

The applicant spoke through an interpreter and answered various questions from the Commissioners.

Brief discussion between the Commissioners, the Applicant and Ms. Stewart.

Motion: Motion by Commissioner Christiansen to table to a date not certain, the application of Furaha A. Bonane for special use permit to operate a licensed daycare from her home so that Applicant can provide and complete the following: (1) Fire Inspection completed and Approved

(2) Provide a letter from the HOA approving the use of the park, and (3) Provide proof of proper insurance coverage for injury at HOA park. Motion seconded by Commissioner Watkins.

Roll Call: Chairman Summers – yes, Commissioner Christiansen – yes, Commissioner Crofts – yes, Commissioner Tremble – yes and Commissioner Watkins – yes approved unanimously.

Chairman Summers noted no public comments.

Chairman Summers closed public hearing at 6:22

Public Comments, Commissioner and Staff Comments

Public Comments

None

Commissioners Comment

Commissioner Christiansen asked about the script from Canyon County. Chairman Summers stated she still needs to email them.

Adjourn: Chairman Summers adjourned the meeting at 6:29 p.m.


Heidi Summers, Chairman


ATTEST:
Deputy Clerk, Planning

Approved: June 12, 2023

Exhibit “A”



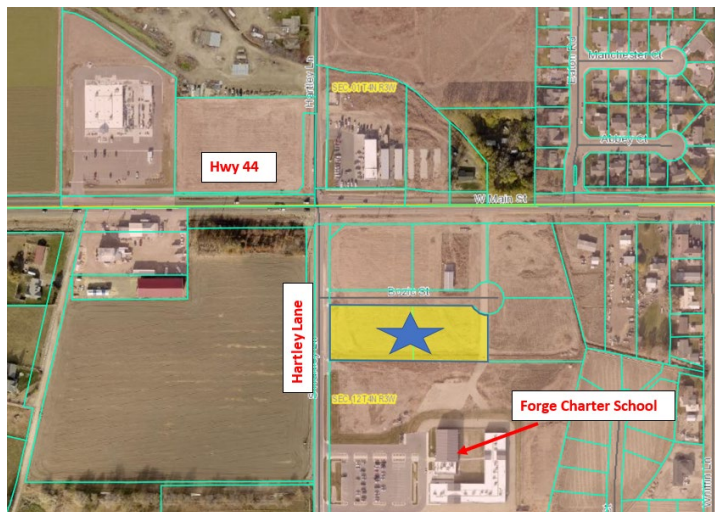
STAFF REPORT

Middleton Design Review Committee

Design Review – Caliber Collision Building Bozic Subdivision



- A. **Design Review Meeting Date:** May 8, 2023
- B. **Project Description and Property Condition:** The Caliber Collision building is proposed on Lots 5 and 6 of the Bozic Subdivision near the intersection of Hartley Lane and Hwy 44 (913 and 957 Bozic Street.) The project parcel is approximately 2.25 acres.



Caliber Collision is a national company that performs auto collision repair, including body work repair, sanding and painting. The proposed building will be 16,345 sf., and

it is equipped with state-of-the-art equipment to mitigate environmental hazards and prevent nuisances to surrounding parcels.

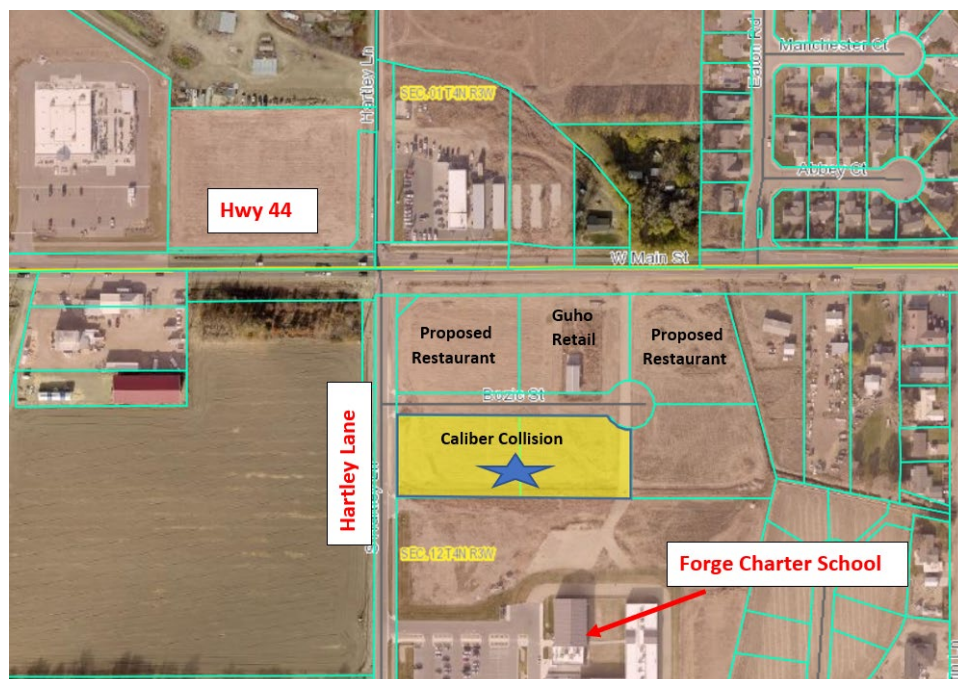
The large building spans over two Bozic Subdivision lots, so a lot consolidation application will be required to consolidate Lots 5 and 6 into a single lot. The lot consolidation application is an administrative application, and Staff must approve it before City will issue the building permit for the Caliber Collision building.

The Bozic subdivision contains four other lots. The Bozic developer has indicated that two of the 4 remaining lots will accommodate new restaurants, and one lot will accommodate the Guho retail building that has already received design review approval. See below.

Guho Retail Building



The locations of the new businesses are shown below:



- C. Zoning & Site Conditions:** The project parcel is approximately 2.25 acres and is zoned M-1 (Light Industrial). Auto repair is an allowed use in the M-1 Zone, so the project use complies with zoning. The proposed building also complies with all dimensional standards and other requirements for M-1 Zoning.
- D. Architectural Character:** MCC 1-15-8-2, requires the project material and colors to be in harmony with the townscape and surrounding neighborhood. Each building must also contain four or more of the following design elements: gable roof, stucco, brick/rock, accenting, metal siding, timberwork, or public art feature.

The Caliber Collision building will be used for a more light industrial use than other buildings slated for the Bozic Subdivision, but Applicant has still tried to make the industrial type building conform to the more “commercial atmosphere” that is being built in the Bozic Subdivision.

The Caliber Collision building technically complies with the Code and contains four of the required materials on the elevation fronting Hartley Lane. The four materials are brick, stucco, stone, and metal pop-outs/accents.



West elevation facing Hartley Lane.

On the north elevation fronting Bozic Street, the four materials are two-tone metal siding, stone, brick, and stucco.

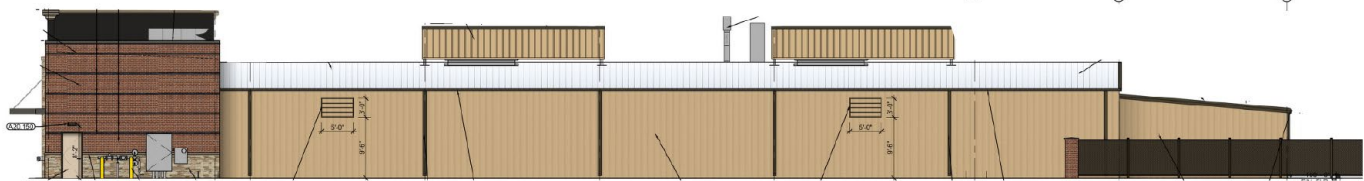


North Elevation facing Bozic Street

The east and south elevations do not front public streets; therefore, the same level of design is not required.



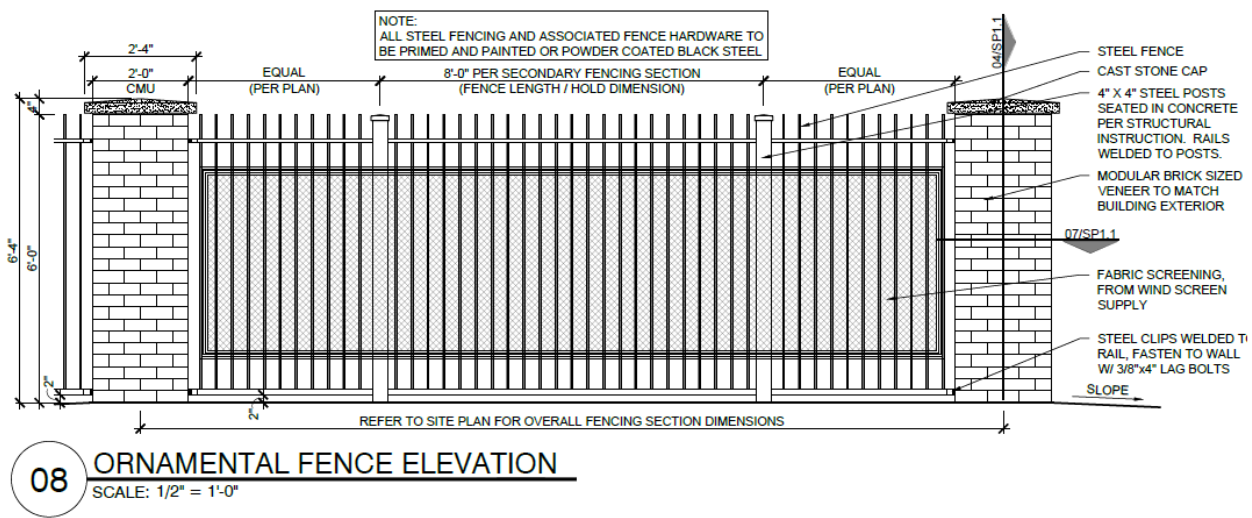
East Elevation

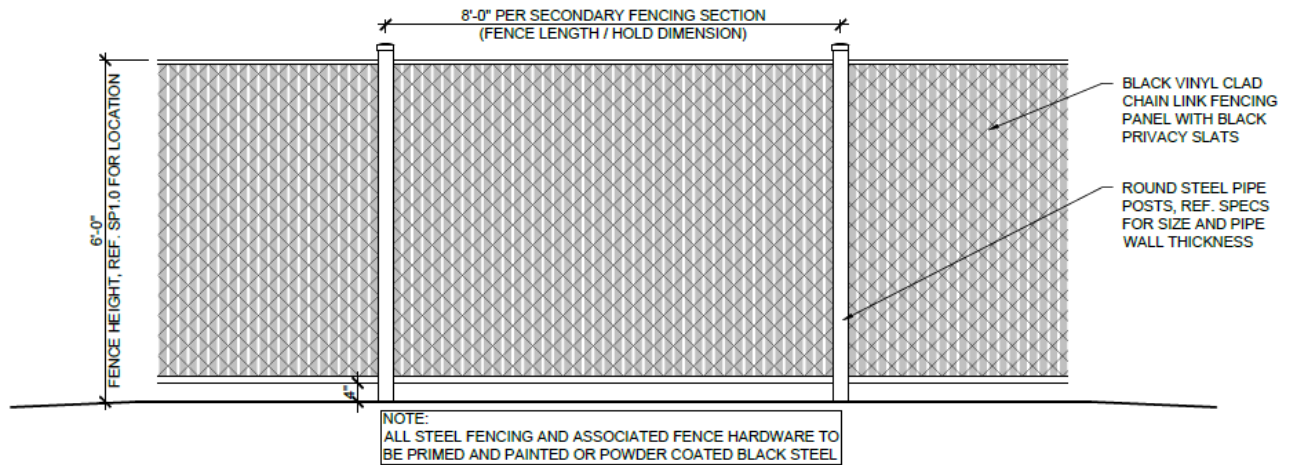


South Elevation facing Forge International School Yard.

[A copy of the Elevation Sheets is attached as Exhibit “A”]

The Caliber Collision facility contains a storage yard for cars undergoing repair. Fencing is required to protect the stored items and obscure the view of the storage yard. Caliber Collision intends to build a wrought iron and brick ornamental fence on the Hartley Lane and Bozic Street sides of the building. The east elevation and south elevation that faces Forge International will be chain link fence with privacy slats.



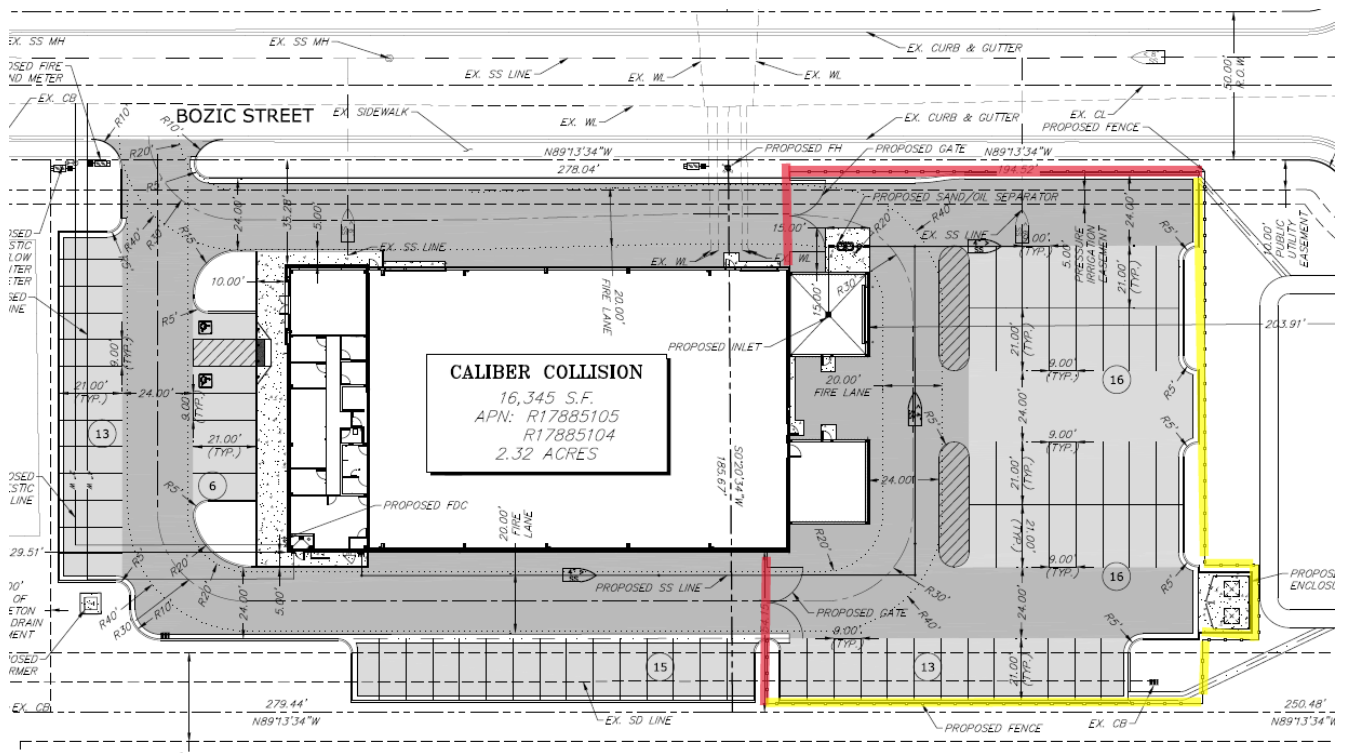


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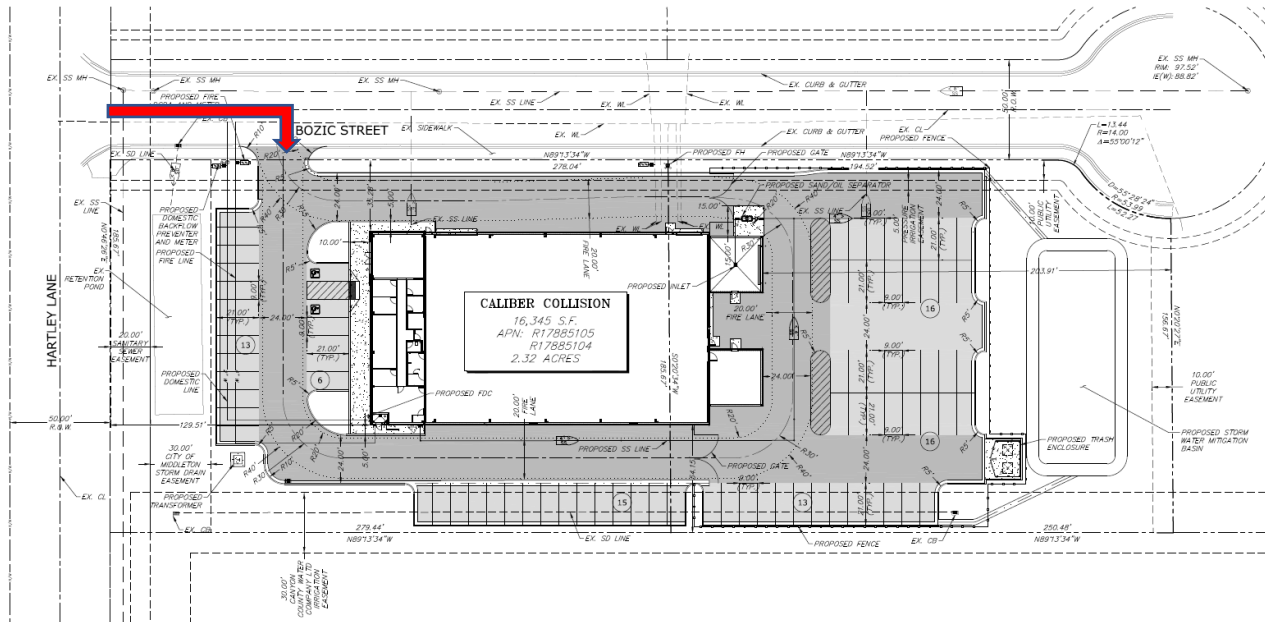
CHAIN LINK FENCE ELEVATION

SCALE: 1/2" = 1'-0"

The location of the fencing is highlighted below. Red highlight is the placement of the ornamental fence. The yellow highlight is the placement of the chain link fence.



E. Streets & Access: Access to the parcel is via Hartley Lane and Bozic Street.



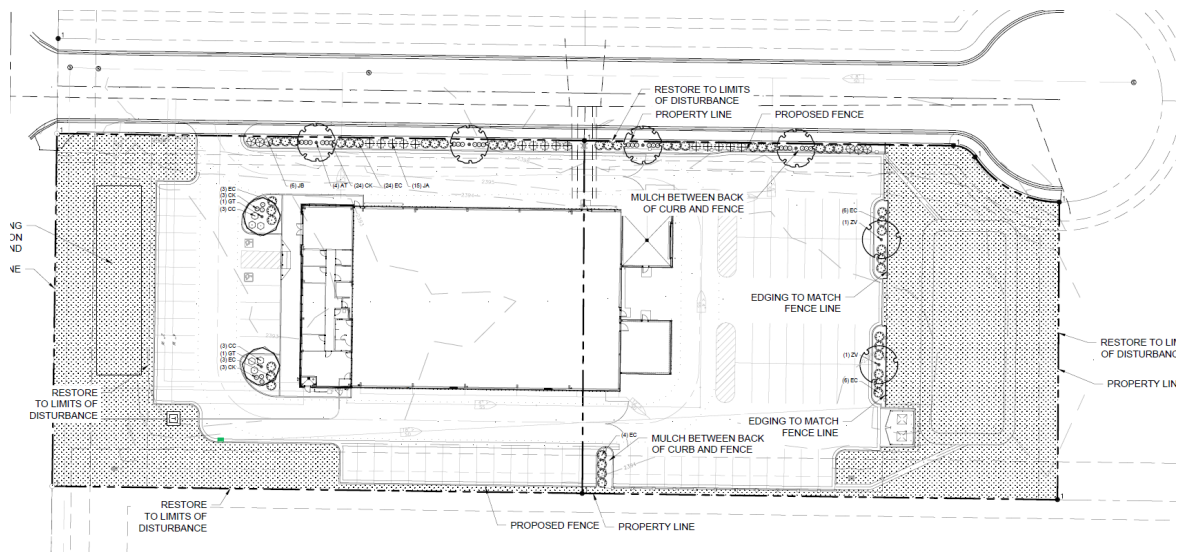
[Larger Site Plan is attached as Exhibit "B"]

- F. Parking:** City code requires one parking stall per 720 s.f. of auto shop floor space. In light of this, the Caliber Collision building requires 23 public parking stalls. Applicant has provided 34 stalls. (See site plan above) The additional stalls shown behind the gated fence are for auto storage, not public parking, so those parking stalls do not count toward the minimum code requirement.
- G. Utilities:** Sewer and water are already located in the Bozic Subdivision and stubbed to this parcel. Any fine-tuning of the utility connections will be handled at the building permit stage by City Engineer and the Public Works Department.
- H. Stormwater:** Stormwater facilities were constructed by the subdivision developer and have already been approved by City Engineer. However, Developer must submit a stormwater facilities design for this specific project parcel. That will occur at the building permit stage. The proposed stormwater facilities may not incorporate the stormwater facilities constructed along Hartley Lane because those facilities have been designed to handle only the run-off from City right of way.
- I. Lighting:** Applicant provided a photometric plan that showed little to no light spillage across the property boundary. Lighting in the City of Middleton must be shielded downward to prevent light pollution.

- J. Landscaping and Fencing:** Applicant submitted a proposed landscape plan dated 4/25/2023. The plan shows sufficient landscaping along the frontage of Bozic Street together with landscape in and around the large retention pond on the eastern part of the project parcel.

[See landscape below. Full copy of the Landscape plan is attached as Exhibit "C".]

A condition of Design Review approval should be compliance with the 4/25/2023 landscape plan.



- K. Irrigation Easement:** A portion of Applicant's storage parking stalls, landscape and fence are in the Canyon County Water Company's irrigation easement. Applicant must provide City with a signed copy of a license agreement allowing Applicant to construct permanent structures in the irrigation company's easement.
- L. Applicable Codes and Standards:** Per MCC 1-15-8-1, a design review is required for all nonresidential structures in Middleton. The applicable Codes and Standards relevant to the review are MCC 1-15, 5-1, and 5-4.
- M. Conclusions and Recommended Conditions of Approval:**

Applicant's Design Review application complies with dimensions and standards of the Middleton City Code for M-1 Zoning. If the Design Review Committee is inclined to approve the application, City Planning Staff recommends that the following Conditions of Approval be made a part of the approval:

1. Applicant must submit and obtain approval of an administrative Lot Consolidation application before City will issue a building permit for the building.
2. Applicant to comply with all Canyon County Water Company irrigation comments.

3. Prior to City issuing a building permit, Applicant must provide City with a copy of an executed and recorded license allowing Applicant to construct permanent structures in the Canyon County Water Company easement.
4. Applicant to comply with all Engineering & Planning Comments
5. Applicant to comply with all Middleton Rural Fire Department comments.
6. Applicant to comply with all comments and requirements of the City Building Department.
7. Applicant to comply with all Middleton City Public Works comments, including possible comments regarding required sewer pre-treatment requirements, required spill response plan and other safety measures.
8. Applicant to submit an Industrial User Survey with the building permit application.
9. Storm facility design must be entirely contained on the project parcel. Storm facility along Hartley Lane may not be used or intermingled with parcel stormdrain design.
10. All storm facilities on site to be landscaped with irrigated landscape and maintained by parcel owner or entity other than City.
11. No visibly damaged vehicles may be stored outside the gated area.
12. Applicant's activities may not create any environmental hazards nor cause a nuisance to the surrounding area.
13. Fence to be ornamental wrought iron fence with brick columns and wind screen on the Bozic Street and Hartley Lane sides of the building. The southern and eastern boundary may be chain link fence with privacy slats.
14. All asphalt must meet the minimum thickness and standards of the City of Middleton
15. All exterior lighting must be downlit
16. Landscape must be installed per the landscape plan dated 4/25/2023.

Prepared by Middleton Planning & Zoning Official,
Roberta Stewart
Dated: May 2, 2023

EXHIBIT "A"

ELEVATION PAGES

MATERIAL LEGEND



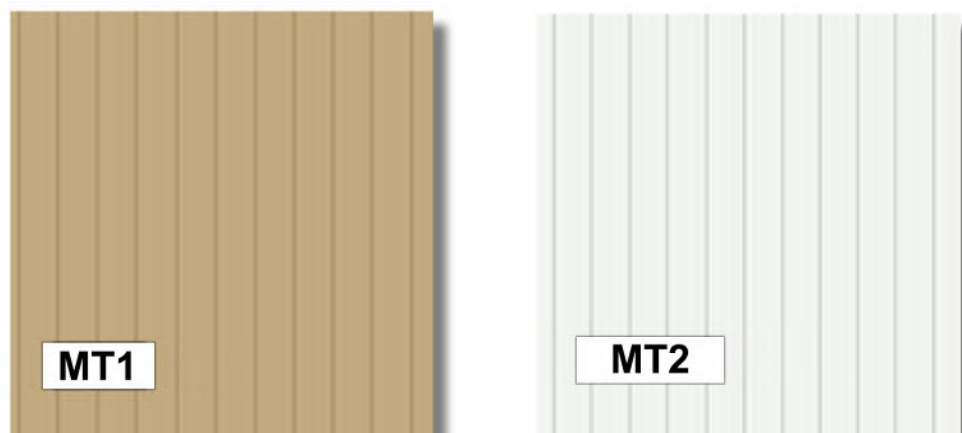
TRICORN BLACK
PAINT
SW NOMADIC DESERT



NATURAL STONE
BRAZOS BLEND
MODULAR BRICK
MEDIUM IRONSPOT



MODULAR BRICK
MANGANESE IRONSPOT
EXPOSED STEEL
URBANE BRONZE



PRE-FINISHED METAL
SIDING "SADDLE TAN"
SPECTRALITE 2000"
STANDING SEAM
METAL ROOF
SOLAR WHITE



PRE-FINISHED METAL
SIDING "BURNISHED SLATE"
SPECTRALITE 2000"



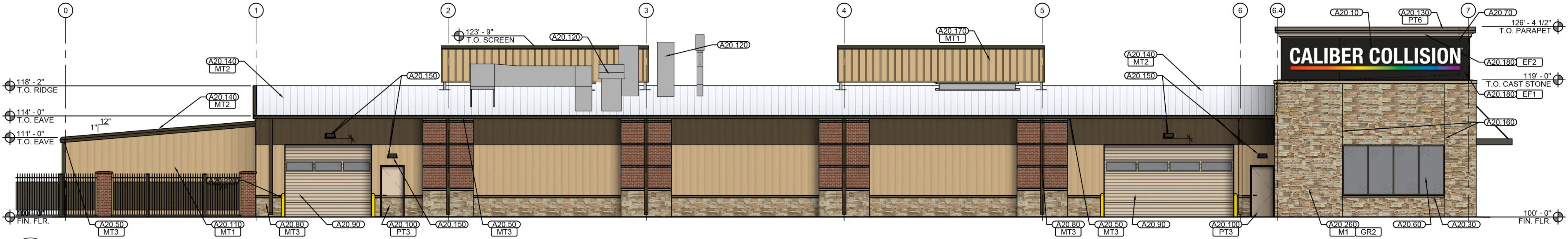
ARCHITECT
BRET FLORY
1913 GARDENGROVE COURT
PLANO, TEXAS 75075
PH: 972.467.9749
bflory@crossarchitects.com

CALIBER COLLISION

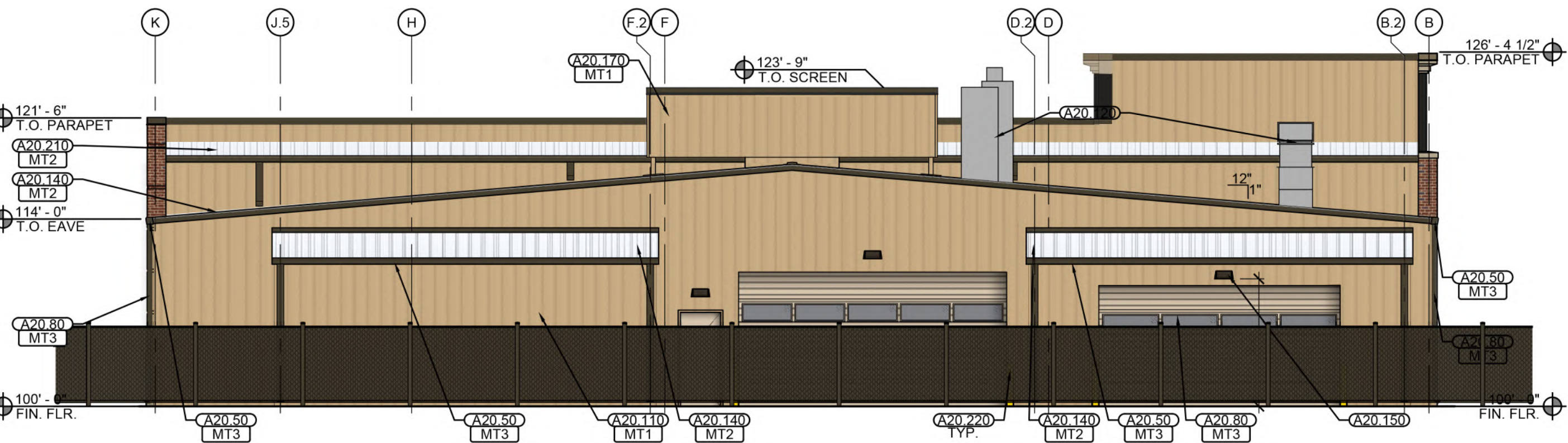
CONCEPTUAL ELEVATIONS

MIDDLETON, ID

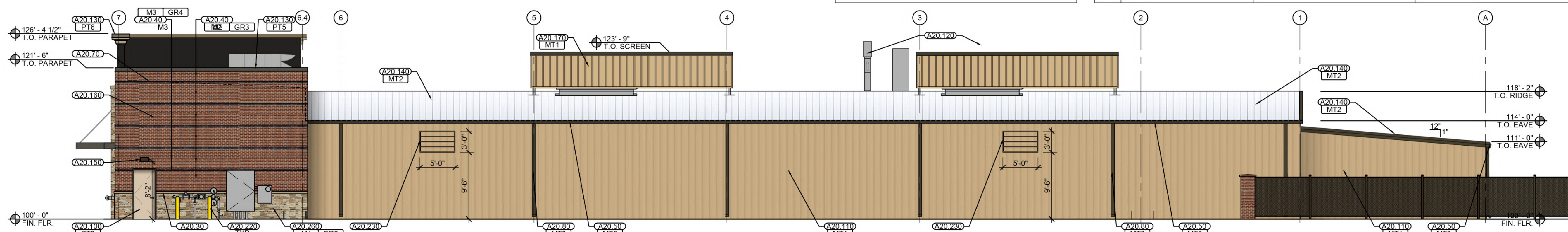
DRAWN	DATE	PROJECT NO.	CITY PROJECT NO.	SHEET NO.
-	23.04.26	22113	-	-



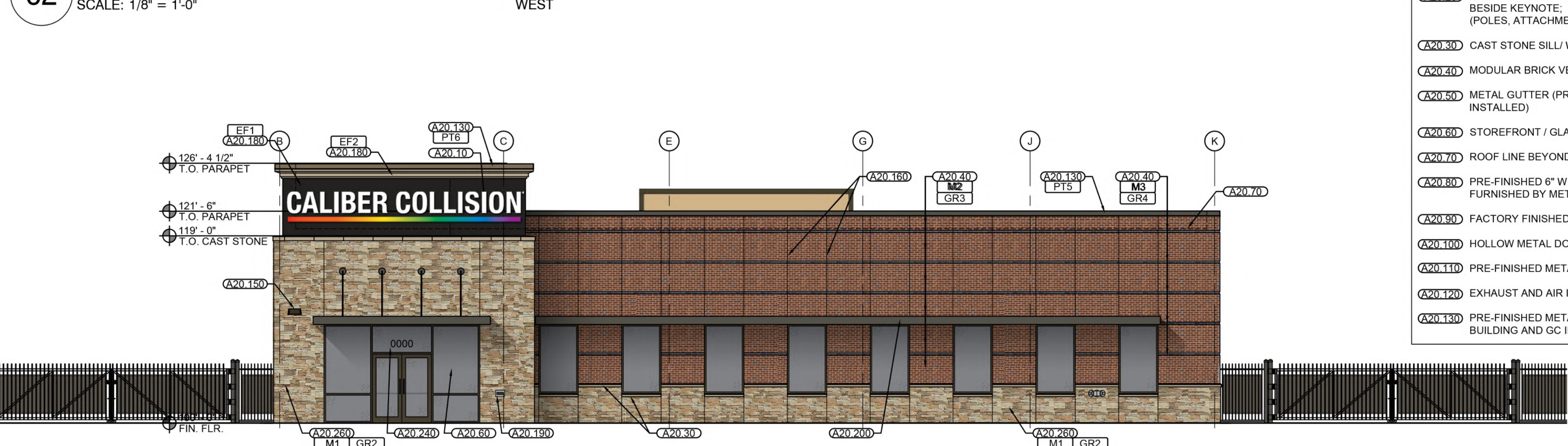
04 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
EAST



03 REAR ELEVATION
SCALE: 1/8" = 1'-0"
NORTH



02 LEFT ELEVATION
SCALE: 1/8" = 1'-0"
WEST



01 FRONT ELEVATION
SCALE: 1/8" = 1'-0"
SOUTH

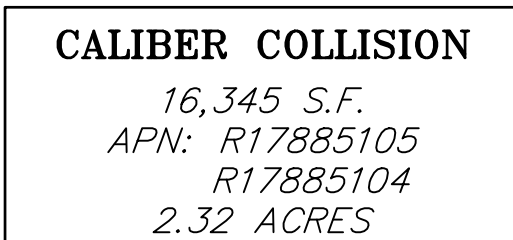
- GENERAL NOTES:
1. DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY.
 2. HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNLESS NOTED OTHERWISE.
 3. CONTRACTOR TO PROVIDE FIRE RETARDANT PLYWOOD BACKING FOR SIGNAGE AS SHOWN. PLYWOOD BACKING TO EXTEND TO WALL EXTENTS.
 4. REF. A1.3 FOR FINISH AND MATERIAL DESIGNATIONS.
 5. ALL EXTERIOR EXPOSED STRUCTURAL STEEL AT FRONT CANOPY TO BE URBANE BRONZE, INCLUDE UNDERSIDE OF DECK.

FINISH KEY	DESCRIPTION/ LOCATION	COLOR	IDENTIFICATION/ FINISH/ STYLE
AL1	STOREFRONT SYSTEM	DARK ANODIZED BRONZE	ALUMINUM FRAME
CS1	CAST STONE (REF. ELEVATIONS)	BUFF	SMOOTH
EF1	EXTERIOR EIFS (TOWER ELEMENT)	TRICORN BLACK (SW 6258)	SAND PEBBLE
EF2	EXTERIOR EIFS (CORNICHE)	CUSTOM MATCH CAST STONE COLOR	SAND PEBBLE
GR2	EXTERIOR MASONRY MORTAR FOR STONE	10X LT. BUFF	TYPE S
GR3	EXTERIOR MASONRY MORTAR FOR BRICK	30X LT. BROWN	TYPE S
GR4	EXTERIOR MASONRY MORTAR FOR BRICK	97X SUPER BLACK	TYPE S
M1	NATURAL STONE	BRAZOS BLEND (CAN BE SUBSTITUTED W/ DEVELOPER APPROVED LOCAL STONE)	NATURAL STONE (SIZES VARY 4", 6", 8", 10", AND 12")
M2	EXTERIOR MASONRY - FIELD	MEDIUM IRON SPOT 46	VELOUR MODULAR BRICK
M3	EXTERIOR MASONRY - ACCENT	MAGNESIUM IRON SPOT	MODULAR BRICK
MT1	PREFINISHED METAL SIDING EXT. WALL R-PANELS	SADDLE TAN	SPECTRALITE 2000
MT2	PREFINISHED METAL ROOFING ROOF PANELS AND REAR CANOPY	SOLAR WHITE	SPECTRALITE 2000
MT3	PREFINISHED SHOP TRIM, GUTTER, DOWNSPOUTS, HORIZONTAL BAND	BURNISHED SLATE	SPECTRALITE 2000
PT3	EXTERIOR DOOR PAINT, INTERIOR SHOP DOOR PAINT	NOMADIC DESERT	SW 6107 - EXTERIOR LOW SHEEN - UDB
PT5	EXTERIOR EXPOSED STEEL	URBANE BRONZE	SW 7048 - EXTERIOR LOW SHEEN - UDB
PT6	EXTERIOR FINISH	SURREY BEIGE	SW 9116 - EXTERIOR LOW SHEEN - UDB

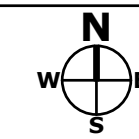
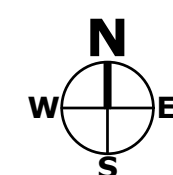
- KEY NOTES:
- A20.10 SIGNAGE (BY OTHERS)
 - A20.20 BLACK WROUGHT IRON FENCE AND GATE, HEIGHT NOTED BESIDE KEYNOTE. PAINT ALL FENCE PARTS BLACK (POLES, ATTACHMENTS, ETC.)
 - A20.30 CAST STONE SILL/ WATER TABLE
 - A20.40 MODULAR BRICK VENEER
 - A20.50 METAL GUTTER (PROVIDED BY METAL BUILDING AND GC INSTALLED)
 - A20.60 STOREFRONT / GLAZING
 - A20.70 ROOF LINE BEYOND
 - A20.80 PRE-FINISHED 6" W x 4" D (SQUARE) METAL DOWNSPOUT, FURNISHED BY METAL BUILDING AND GC INSTALLED
 - A20.90 FACTORY FINISHED OVERHEAD DOOR, DESERT TAN
 - A20.100 HOLLOW METAL DOOR AND FRAME
 - A20.110 PRE-FINISHED METAL BUILDING SIDING
 - A20.120 EXHAUST AND AIR INTAKE (REF. PAINT BOOTH DRAWINGS)
 - A20.130 PRE-FINISHED METAL COPING, PROVIDED BY METAL BUILDING AND GC INSTALLED
 - A20.140 PRE-FINISHED METAL BUILDING "R" PANEL ROOFING
 - A20.150 WALL MOUNTED LIGHT FIXTURE (REF. MEP)
 - A20.160 CONTROL JOINT
 - A20.170 METAL EQUIPMENT SCREENING, OUTWARD FACE OF ALL SCREENING TO BE R-PANEL, ALL SUPPORT FRAMING TO BE PRIMED AND PAINTED TO MATCH WALLS
 - A20.180 EIFS VENEER
 - A20.190 KEYKEEPER WB, PROVIDED & INSTALLED BY G.C.
 - A20.200 PRE-FINISHED METAL AWNING
 - A20.210 PRE-FINISHED METAL STANDING SEAM ROOFING
 - A20.220 CONCRETE FILLED STEEL BOLLARD, REF. 04/SP1.2
 - A20.230 60" X 36" LOUVERS, PROVIDE FRAMED OPENINGS - MATCH ADJACENT MATERIAL, REF. MEP
 - A20.240 STREET ADDRESS NUMBERS TO BE SIZED AND COLORS TO BE APPROVED BY FIRE MARSHAL
 - A20.250 FACTORY FINISH COILING OVERHEAD DOOR, DESERT TAN
 - A20.260 NATURAL STONE VENEER

EXHIBIT "B"

SITE PLAN



SCALE: 1" = 30'-0"



PROJECT LEGEND	
A.P.N.:	R17885105 R17885104
PARCEL ZONING:	I-P
SITE SETBACKS:	
FRONT YARD:	= 0 FEET
SIDE YARD:	= 0 FEET
BACK YARD:	= 0 FEET
EXISTING CONDITIONS:	
BUILDING AREA:	0 S.F.
LANDSCAPE AREA:	97,203 S.F.
IMPERVIOUS AREA:	44 S.F.
TOTAL:	97,247 S.F.
PROPOSED CONDITIONS:	
BUILDING AREA:	16,184 S.F.
LANDSCAPE AREA:	33,896 S.F.
IMPERVIOUS AREA:	47,123 S.F.
TOTAL:	97,247 S.F.
PARKING REQUIREMENTS:	
1 SPACE / 725 S.F.	23 SPACES
PARKING PROVIDED:	80 STALLS
STANDARD STALLS	32 STALLS
HANDICAP STALLS	2 STALLS
STORAGE STALL	46 STALLS

1. STORMWATER MANAGEMENT AREA TO BE DEVELOPED WITH DROUGHT TOLERANT TURF/GRASS FOR PERMANENT WATER QUALITY BMP



TECTONICS
DESIGN GROUP

Caliber Collision
Middleton, Idaho

Cross Architects
1255 West 15th Street, Suite 125, Plano, Texas 75075

C2.1

EXHIBIT C

Landscape Plan

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GENERAL		GENERAL PLANTING	
A.	<p>1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.</p> <p>2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.</p>	B.	<p>1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.</p> <p>2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.</p>
B.	<p>SCOPE OF WORK</p> <p>1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.</p> <p>2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS. ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SHALL BE KEPT ADVISED. ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.</p> <p>3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.</p>	3.	<p>TRENCING NEAR EXISTING TREES</p> <p>a. CONTRACTOR SHALL NOT DISTURB ROOTS 1'-12" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5" ABOVE THE AVERAGE GRADE AT THE TRUNK).</p> <p>b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.</p> <p>c. AFTER ALIGNMENT OF THE NEW TRUNK, EXPOSED TREE ROOTS SHALL BE QUARANTINED, WHERE TREE ROOTS 1'-12" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.</p> <p>d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINS.</p>

A.	ALL MANUFACTURED PRODUCTS SHALL BE NEW.	2. SCARP THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. ANY GRASS, WEEDS OR OTHER PLANTS THAT MAY HAVE BEEN CAUGHT DURING THE EXCAVATION OF THE HOLE.	3.
B.	CONTAINER AND BALLED-AND-BURLAPPED PLANTS:	3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL AT ALL TIMES BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.	4.
	FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI B201-1:2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, STURDY STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFOLIATION SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHOULD BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.	4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE FINISHED GRADE.	5.
	2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUNDED, FREE FROM GIRDLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).	5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED BEYOND THE MINIMUM, THE CONTRACTOR SHALL ACCOMPANY SOIL IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.	6.
	3. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH A PLANT OF THE SAME OR LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE RESPONSIBLE TO THE ACCEPTABILITY OF ON-SITE MATERIALS.	6. THE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES: a. 1"-2" TREES TWO STAKES PER TREE b. 2 1/2"-4" TREES THREE STAKES PER TREE c. TREES OVER 4" CALIPER GUY AS NEEDED	7.
	4. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.	7. ON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING-BASIN AROUND THE TREE TO COVER THE ENTIRE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.	8.
	5. SINGLE TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT MEASURED FROM THE TOP OF THE ROOT BALL.	8. COVER THE INTERIOR STAKES PER TREE WITH MULCH (TYPE AND DEPTH PER PLANS).	9.
	6. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT BALL FLARE IS NOT FULLY EXPOSED, SHALL BE IMMEDIATELY REJECTED.	D. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING 1. DISG THE PLANTING HOLE TO THE WIDTH AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.	10.
	C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PACH OF SOD SHALL BE ACCOMPANIED BY A DOCUMENT STATING THE COMPOSITION OF THE SOD.	2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEE THE WEED BARRIER CLOTH IN PLACE.	11.
	D. SEEDS: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLAN. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.	3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.	12.
	E. TOPSOIL: SANDY TO GLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/4 INCH, FOREIGN MATTER, AND OTHER CONTAMINANTS.	E. SODDING 1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN. a. LAY SOD WITH THE CORNER OF THE STRIPPING, DO NOT LAY IF THE GROUND IS FROZEN. b. PROVIDE A STRAIGHT, CLEAN-CUT EDGE OF EXISTING TURF TO WHICH NEW SOD CAN BE ADDED. c. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SEAMS OF SOD STRIPS DO NOT COINCIDE WITH STRIP EDGES. d. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.	13.
	F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 30 TO 55 PERCENT BY WEIGHT; 10 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLIDS CONTENT 90 TO 95 PERCENT BY WEIGHT; NO COINCIDING WITH STRIP EDGES.	F. CLEAN UP 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAYMENT CLEAN AND ALL WORK AREA IN A NEAT, ORDERLY CONDITION. 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.	14.
	G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).	G. INSPECTION AND ACCEPTANCE 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. 2. WHEN THE INSPECTION AND APPROVAL WORK DOES COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.	15.
	H. MULCH: SODS AND TYPES AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.	3. IF THE GAUGE INDICATES THE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND WARE PERIODS WILL COMMENCE.	16.
	I. WEED FABRIC: 5 OUNCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).	H. LANDSCAPE MAINTENANCE	17.
	J. TREESTAKING AND GUAGING 1. STAKES: 6" LONG GREEN METAL L-POSTS. 2. GUY AND THE LINE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER. 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.		18.
	K. STEEL PROTECTIVE GUAGING: 1/2" THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.		19.
	L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR USE ON ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.		20.

SOIL PREPARATION

a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.

LANDSCAPE SOIL TESTING:

a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES COLLECTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING SOILS: CULTURAL CLASS, GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO MORE THAN ONE QUART OF SOIL.

b. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.

c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES; PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.

3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER BEFORE OR AFTER BIDDING, SHALL BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:

a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING OR CROSS-RIPPING:

i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.

ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.

b. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE

c. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING OR CROSS-RIPPING:

i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.

ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.

iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE

iv. IRON SULPHATE - 2 LBS. PER CU. YD.

d. CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

e. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

C PLANTING AT PARKING AREA
SCALE: NOT TO SCALE

- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE EQUAL TO THE ROOTBALL DEPTH PLUS 10% OF UNDISTURBED SOIL, AND THE ROOT FLARE IS 12" - 14" ABOVE BOTTOM GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2 1/2" CAL. AND LARGER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKE TIGHT BUT NOT TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

The diagram shows two cross-sectional views of a tree trunk and its canopy. The top view shows a tree trunk (2) with a linear root barrier material (3) installed vertically along its length. A typical planting area (4) is indicated by a dashed circle around the trunk. A typical curb and gutter (6) is shown at the bottom right. The bottom view shows a tree canopy (4) with a typical planting area (5) indicated by a dashed circle. A typical curb and gutter (6) is also shown at the bottom right. A dimension line indicates a distance of 10' from the curb/gutter to the tree trunk.

- (1) TYPICAL WALKWAY OR PAVING
- (2) TREE TRUNK
- (3) LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- (4) TREE CANOPY
- (5) TYPICAL PLANTING AREA
- (6) TYPICAL CURB AND GUTTER

NOTES:

- 1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURB.
- 2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

SHRUB AND PERENNIAL PLANTING

B ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE

NOTES:

- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
- 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE
- 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

STEEL EDGING
SCALE: NOT TO SCALE



STAFF REVIEW AND REPORT Middleton Planning and Zoning Commission

Special Use Permit Application (Furaha A. Bonane Daycare – 105 E. Rose Lake Dr.)



- A. **Planning & Zoning Commission Hearing Date:** April 10, 2023
- B. **Application & Description:** Application by Furaha A. Bonane for special use permit to operate a daycare in her home located at 105 E. Rose Lake Dr. (Middleton Lakes Subdivision). Applicant is requesting a permit to care for up to 13 children. Ages of the children are newborn to 13 years old. Applicant also has four other children in the

- D. **City Services:** The lot is located in an established neighborhood, so water, sewer, police and fire protection are already servicing the subject lot.
- E. **Traffic, Access & Streets:** Depending upon Applicant's description at the public hearing of pick-up and drop-off procedures, traffic and access may be an issue.
- F. **Special Use Permit:** Middleton City Code 1-15-7 sets forth the law on Special Use Permits within City limits. Section 1-15-7 provides specifically:

"1-15-7: SPECIAL USE PERMITS:

A. Description:

1. The purpose of review shall be to determine that the characteristics of any such use shall not be unreasonable or incompatible with the type of uses permitted in the area. Nothing construed herein shall be deemed to require the commission to grant a special use permit.

2. Certain types of uses possess unique and special characteristics which require special consideration prior to their being permitted in a particular district. A special use permit may be granted to an applicant if the proposed use is allowed by a special use permit under the land use schedule in section [5-4-1](#), Table 1 of this Code.

3. No building permit shall be issued when a special use permit is required by the terms of this chapter, unless a special use permit has been previously granted by the City and then only in accordance with the terms and conditions of the special use permit.

4. No special use permit shall be transferable from one property to another. In the event the property changes hands, the new owner, if he or she desires to continue the special use, shall appear before the commission for review. Said continuance use shall be subject to the same terms and conditions of the permit.

5. Prior to granting a special use permit, studies may be required of the social, economic, fiscal and environmental effects of the proposed special use.

6. The granting of a special use permit shall not be considered as establishing a binding precedent to grant other special use permits.

B. Procedures: *The commission shall conduct at least one public hearing on the application.*

C. Action By Commission: *After notice and hearing, the commission may approve, conditionally approve or deny a special use permit application. Whenever the commission approves or denies a permit, it shall specify in writing: 1) the ordinance and standards used in evaluating the application (city code, Idaho Standards for Public Works Construction and Middleton Supplement to the Idaho*

Standards for Public Works Construction); 2) the reasons for approval or denial; and 3) if denied, the actions, if any, that the applicant can take to obtain approval. The commission shall make a decision within thirty (30) days of the conclusion of the public hearing.

D. Conditions: Upon granting a special use permit, conditions may be attached to:

- 1. Minimize adverse impact on other development (spaces, fences, parking, traffic flow, etc.).*
- 2. Control the sequence and timing.*
- 3. Control duration of the use.*
- 4. Assure that development is maintained properly.*
- 5. Designate the location and nature of development, including signs.*
- 6. Require the provision for on site or off site public facilities or services.*
- 7. Require more restrictive standards than those generally required in an ordinance (surfacing of parking areas to City specifications, regulation of points of vehicular ingress and egress, landscaping and maintenance, regulation of noise, vibration, odors or other similar nuisances).*
- 8. Specify the period of time for which a permit is issued and conditions which, if not followed, will bring about revocation of the special use permit.*
- 9. Require mitigation of effects of the proposed use upon service delivery by any political subdivision, including school districts, providing services within the planning area of Middleton.*

E. Appeal: An affected person aggrieved by the commission decision may, within fifteen (15) days of the written commission decision, file a written appeal with the City, along with a nonrefundable fee. The Council shall consider the appeal at a noticed public hearing and may approve, approve with conditions or deny the application.”

In short, the Commission will consider whether Ms. Bonane’s proposed daycare involving 13 children is not “unreasonable or incompatible” with the surrounding neighborhood. In other words, is the daycare in harmony with the surrounding neighborhood. The code section allows the Commission to approve the application and apply conditions of approval that will make the special use “reasonable and compatible” with the surrounding neighborhood.

The Commission must also ensure that the special use requested is shown appropriately in the Land Use Schedule as a “special use.” Daycare for 13 children is indeed shown in the Land Use schedule as an “S” (special use) for the R-3 Zone.

A = Allowed uses											
S = Special uses											
Use ^{1,2}	A-R	C-1	C-2	C-3	M-1	M-2	R-1	R-2	R-3	M-F	M-U
Concrete batch plant						S					
Contractor's shop/storage yard				A	A	A					S
Convalescent/nursing home		A	A	A			S	S	S	S	S
Daycare center (13 or more children)		A	A	A	A		A	S	S	A	A
Daycare, facility (7 or more children unrelated to provider)		A	A	A	A		A	S	S	A	A
Daycare, family (6 or fewer children)		A	A	A	A		A	A	A	A	A

- G. Comments Received from Surrounding Landowners:** None.
- H. Comments from Agencies:** Fire Marshall Islas contacted Planning Staff by telephone to report his inability to set up an in-home inspection of the Bonane home despite reaching out to the Applicant.
- I. Comments from City Engineer and Planning Staff:** None (not applicable).
- J. Application Information:** Applicant is Furaha A. Bonane, 105 E. Rose Lake Dr. Application was accepted on 12/13/2022.
- K. Notices & Neighborhood Meeting:**
- | | |
|--------------------------------------|-----------|
| Newspaper Notification | 2/26/2023 |
| Radius notice to adjacent landowners | 2/23/2023 |
| Circulation to Agencies | 2/22/2023 |
| Sign Posting property | 2/22/2023 |
| Neighborhood Meeting | 9/20/2022 |
- (Hearing was continued from the March 13, 2023, regularly scheduled meeting)

L. Applicable Codes and Standards:

Middleton City Code 1-15-7, Idaho State Statute 67-6512 and IDAPA rules regarding daycare.

M. Conclusions and Recommended Conditions of Approval:

The Planning & Zoning Commission will make the final decision and order on this application. It does not proceed to City Council for consideration. Per State law and the Middleton City Code, any final order must be based upon findings of facts and conclusions of law.

As to Findings of Facts, Planning Staff has set forth above the facts to be considered in the application. Planning Staff further finds that the City does not know if allowing 13 children in the daycare will be in compliance with State Code because Applicant did not schedule an in-home inspection with the Fire Marshall.

As to Conclusions of Law, Planning Staff finds that the Planning & Zoning Commission has the authority to hear the application (MCC 1-5-5). The Commission has the authority to approve the application with or without conditions of approval or deny the application. Additionally, Planning Staff notes that all public notice requirements were met. Planning Staff further set forth the portions of the Idaho State Code and Middleton City Code to be considered in making a recommendation on the application.

Special Use Permit Application: If the Commission is inclined to approve the application, then Planning Staff recommends that any approval be subject to the following conditions:

1. All requirements of the Middleton Rural Fire District are to be completed and approved.
2. All requirements of local, state and federal agencies are to be completed and approved.

Finally, if the Commission denies the application, then the Commission should state what the applicant could do, if anything, to obtain approval. (Middleton City Code 1-14(E)(8)).

2): Appl by Furaha A. Bonane for special use permit to operate a licensed daycare center from her home located at 105 E. Rose Lake

May 8, 2023 - Planning & Zoning Public Hearing

Please check

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