Middleton Planning & Zoning Commission

Findings of Facts, Conclusions of Law, and Decision & Recommendation

In the Matter of the Request of Aaron Gross, Value Land, LLC and JP Wagoner Planning for Preliminary Plat with respect to the Artesian Springs Subdivision located at 10348 Hwy 44 (Tax Parcel No. R33916):

A. Findings of Fact:

1. Hearing Facts: See Staff Report for the hearing date of December 6, 2021 and January 10, 2022 which Report is attached hereto as Exhibit "A' and incorporated herein by this reference.

2. Process Facts: See Staff Report for the hearing date of December 6, 2021 and January 10 2022, Exhibit "A".

3. Application and Property Facts: See Staff Report for the hearing date of December 6, 2021 and January 10, 2022, Exhibit "A".

4. Required Findings per Middleton City Code 1-14-2(E)(7), Idaho State Statue Title 67, Chapter 65, and Title 50, Chapters 13; Idaho Standards for Public Works Construction and Middleton Supplement thereto; and Middleton City Code 1-14, 1-15, 5-1, 5-3, and 5-4: See Staff Report for the hearing date of December 6, 2021 and January 10, 2022, Exhibit "A".

B. Conclusions of Law:

1. That the City of Middleton shall exercise the powers conferred upon it by the "Local Land Use Planning Act of 1975," codified at Chapter 65, Title 67, Idaho Code (I.C. §67-6503).

2. That due consideration has been given to the comments received from the governmental subdivisions providing services in the City of Middleton planning jurisdiction, comments received from individuals of the public, and comments from City Planning Staff and City Engineer.

3. That notice of the application and public hearing was given according to law.

4. That Planning and Zoning Commission's public hearing was conducted according to law, and the City has kept a record of the application and related documents.

5. That codes and standards applicable to the application are the Idaho Standards for Public Works Construction, the Middleton Supplement to the Idaho Standards for Public Works Construction, and Middleton City Code 1-14, 1-15, 5-1, 5-3, and 5-4 and Idaho State Code Secs., 67-6503, 67-6513, 67-6511, 50-1301 through 50-1329.

6. That public facilities and services required by the proposed development will not impose expense upon the public if the attached conditions of approval are imposed.

7. That this recommendation is subject to the Conditions of Approval set forth in the

attached Staff Report for the hearing date of December 6, 2021 and January 10, 2022, Exhibit "A".

C. Decision and Recommendation:

Pursuant to the Planning & Zoning Commission's authority as provided in Middleton City Code 1-5-5, and based upon the above Findings of Facts and Conclusions of Law, it is hereby recommended that:

1. City Council approve the application of Aaron Gross, Value Land, LLC and JP Wagoner Planning for Preliminary Plat with respect to the Artesian Springs Subdivision subject to the conditions of approval set forth in the Staff Report for the December 6, 2021 and January 10, 2022, public hearing on the matter. (Exhibit "A")

WRITTEN RECOMMENDATION APPROVED ON: January 10, 2022.

Ray Waltemate, Chairman
Planning and Zoning Commission

Attest:

Jennica Reynolds
Planning and Zoning Department

Exhibit "A"

Staff Report Dec 6, 2021 Hearing
Staff Report January 10, 2022 Hearing

STAFF REVIEW AND REPORT
Middleton Planning and Zoning Commission

Artesian Springs Subdivision

Snapshot Summary

A. Planning & Zoning Commission Hearing Date: December 6, 2021

B. Project Description: Residential subdivision with 40 buildable lots and 7 common lots on 13.56 acres of vacant land zoned R-3 (Single Family Residential) located at 10348 Hwy 44 (Tax Parcel No. R33916)

C. Application Requests: Applicant is applying for Preliminary Plat.

D. Current Zoning & Property Condition: The property is currently located in city limits and zoned R-3 (Single Family Residential).

E. City Services: Currently, city water and sewer are located immediately south in SH44.

An East Trunkline fee will be assessed at each building permit in addition to all other building and impact fees the city has in place at time of building permit.

F. **Traffic, Access & Streets:** Access to the subdivision is proposed west connecting into Mulligan Street (shown by yellow line below). There are only 40 buildable lots proposed and according to MCC (5-4-10-2K) no secondary access is required. There will be one loop road throughout the entire subdivision, with a stub road at the northwest border of the property. This stub road will provide for future connectivity to the north.

The property owner (Martins) to the north of the project claim an access easement or license across the applicant's property to the south. The Applicant claims it has terminated that access. This constitutes a legal dispute between neighbors, and the City is not obligated to determine the parties' rights in the matter. The City's only responsibility is to make sure that Applicant owns the property, which obligation the City has fulfilled, and forward the application through public hearing process.

However, Applicant has failed to show the easement in issue on the preliminary plat. MCC 5-4-4-(A)(2h) requires that all easements be shown on the plat. Staff recommends that any recommendation for approval of this preliminary plat be subject to the condition that the easement (Instrument #9827345) be shown on the current preliminary plat.

The Applicant completed a Traffic Study. It will show percentage of impacts this subdivision will have on surrounding intersections, and Developer will be required to pay for those impacts via a proportionate share traffic fee that must be paid prior to the final plat approval.

G. **Pathway, Sidewalks & Open Space:** The developer will be required to construct a landscape buffer south along SH44 and large meandering sidewalk to match the frontage buffer already existing to the west and east of the project. Applicant's preliminary plat is in compliance with the Transportation, Schools and Recreation Map.

Developer has provided 8% open space which exceeds the 5% minimum required by MCC 5-4-10-10. A pocket park, meandering pathway and benches are shown as amenities.

H. **Middleton Rural Fire District:** The subject property is in the Middleton Rural Fire District. The District has not commented on the preliminary plat as of yet. As a condition of approval, the preliminary plat will be subject to compliance with the District's comments.

I. **Preliminary Plat Application:** The preliminary plat does not show a phasing plan, and the project will be brought to final plat in one phase. The preliminary plat complies with all dimensional standards and codes of the City of Middleton.

FINDINGS:

Planning Staff finds that the preliminary plat will not adversely affect the City's ability to deliver services. And, as will be shown in more detail in section K below, Planning Staff finds that the preliminary plat is in harmony with the City's Comprehensive Plan. (A copy of the preliminary plat and landscape plan is attached as Exhibit "A")

J. **Comprehensive Plan:** Applicant's project complies with the *Goals, Objectives, and Strategies* of the *2019 Middleton Comprehensive Plan* as follows:

a. *Goals 3 and 23:* The project provides safe vehicle and pedestrian facilities in light of the street improvements and sidewalks shown on the preliminary plat.

b. *Goals 4 and 5:* The project will establish a good quality of life with development that pays through impact fees and property taxes for the public services it receives when infrastructure is installed. Additionally, quality lots for residential use increase the quality of life and general welfare of the city.
c. *Goal 11:* The housing type matches the residents' lifestyle in the area the project is located and is an in-fill improvement project.

K. **Comments from City Engineer and Planning Staff:** City Engineer and Planning Staff comments attached as Exhibit "B".

L. **Comments Received from Surrounding Landowners:** Exhibit "C"
Steve Walker – Board President - Greenlinks Homeowners Association letter dated 11/8/2021

- Concerned with increased traffic on Greenlinks Avenue.
- Propose cost of landscape maintenance along entrance of Greenlinks Avenue, up to and including Mulligan Street traffic circle be shared with Artesian Springs HOA.
- Propose only single-story homes be built along the proposed western boundary where the lots directly back up to existing residents' backyards. This should only affect up to 4 lots.

Mike & Joan Walker letter dated 11/8/2021

- Concerned with additional traffic and impacts to Greenlinks Ave and SH44.

Gary & Rebecca Martin emailed letter with Easement and License Agreements dated 12/2/2021

- Objection to plat due to ingress/egress easement to SH44.

M. **Comments from Agencies:** Exhibit "D"
Canyon County Water Company 11-29-2021 – Tentatively to approve plan to pipe the ditch, after the required license agreement is acquired.

N. **Applicant Information:** Application was received and accepted on June 29, 2021. The Applicant/Owner Aaron Gross, Value Land, LLC. 1015 Victoria Drive, Fruitland, ID 83619. Representative Jarom Wagoner, JP Wagoner Planning. 11846 Linden Road, Caldwell, ID 83605.

O.

Notices:	**Dates:**
Neighborhood Meeting	6/17/2021
Newspaper Notification	10/24/2021
Radius notification mailed to Adjacent landowners within 300'	10/22/2021

Circulation to Agencies	10/22/2021
Sign Posting property	10/22/2021

Planning staff finds that notice was appropriate and given according to law.

P. Applicable Codes and Standards:
Idaho Code Secs., 67-6503, 67-6509, 67-6511, 67-6513, 50-1301 through 50-1329.
Idaho Standards for Public Works Construction, the Middleton Supplement to the Idaho Standards for Public Works Construction.
Middleton City Code 1-14, 1-15, 5-1, 5-3, and 5-4.

T. Conclusions and Recommended Conditions of Approval:

The Planning & Zoning Commission is tasked with considering one application for Preliminary Plat and making a recommendation to City Council for approval or denial of the application.

Per State Law and the Middleton City Code, any recommendation must be based upon findings of facts and conclusions of Law.

As to Findings of Facts, Planning Staff has set forth findings of facts as stated above. If the Commission agrees with those findings of facts and agrees with the testimony and evidence presented at the public hearing, the Commission needs to make a motion to accept those findings of facts set forth in the staff report and public hearing.

As to Conclusions of Law, Planning Staff finds that the Planning & Zoning Commission has the authority to hear this application and to recommend approval or denial of this application. Additionally, Planning Staff notes that all public notice requirements were met. Planning Staff further set forth the portions of the Idaho State Code and Middleton Code to be considered in making a recommendation on the applications. If the public hearing is held and conducted in compliance with Idaho State Statute and the Middleton City Code, then the Commission may accept these conclusions of law by passing a motion to accept the conclusions of law set forth in the staff report and public hearing.

If the Commission is inclined to recommend approval of the application based upon the above *Findings of Facts and Conclusions of Law,* then Planning Staff recommends that any approval be subject to the following conditions:

1. City of Middleton municipal domestic water, fire flow and sanitary sewer services are to be extended to serve the subdivision.
2. Owner/Developer shall construct, at its own cost, all frontage improvements of SH44.
3. Owner/Developer to pay all City required proportionate share traffic fees.
4. All City Engineer review comments are to be completed and approved.

5. All requirements of the Middleton Rural Fire District are to be completed and approved.
6. Developer must show on the preliminary plat the easement that was created by Quit Claim (Instrument #9827345).
7. License agreement granting access over irrigation easement connecting Mulligan Street to Artesian Ave must be recorded prior to final plat approval.
8. Sewer and water capacity to be reserved at the time the City approves the construction drawings for the project.

Finally, if the Commission denies the application, pursuant to Middleton City Code 1-14(E)(8), the Commission must state on the record what Applicant can do, if anything, to gain approval of the application.

Prepared by Planning Deputy Clerk, Jennica Reynolds Dated: 12/3/2021

EXHIBIT “A”

Preliminary Plat under review

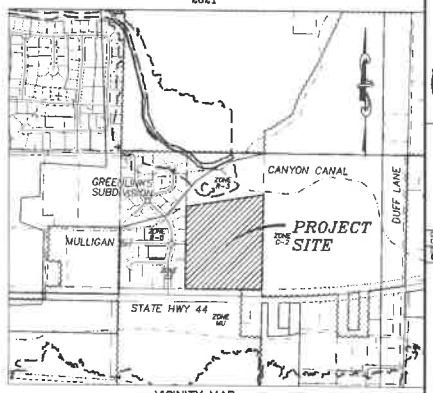
INDEX PLAN FOR ARTESIAN SPRINGS SUBDIVISION

LOCATED IN THE NW 1/4 OF THE NE 1/4
SECTION 6, T.4N., R.2W., B.M.,
MIDDLETON , CANYON COUNTY, IDAHO
2021

Parcel Table			
Lot	Area	Perimeter	Type
BLOCK 1 Lot 1 OPEN	9799	719	EASEMENT BUFFER
BLOCK 1 Lot 2 OPEN	10076	403	DRAINAGE
BLOCK 2 Lot 15 OPEN	4499	271	PI PUMP STATION
BLOCK 2 Lot 22 OPEN	3223	275	SEWER WATER EASEMENT
BLOCK 2 Lot 27 OPEN	10872	783	EASEMENT BUFFER
BLOCK 2 Lot 28 OPEN	21417	1458	ARTERIAL BUFFER
BLOCK 3 Lot 8 OPEN	35243	1313	PARK/DRAINAGE

LEGEND

BOUNDARY
LOT LINES
ROAD CENTERLINE
RIGHT OF WAY
LOT NUMBER — BLOCK 7
BLOCK NUMBER
EASEMENT
SETBACK
CURB GUTTER & SW
STREET NAME — W. ASHTON DR.
HANDICAP RAMP
SEWER LINE
WATER LINE
STORM DRAIN LINE
PRESSURE IRRIGATION
GRAVITY IRRIGATION
100 YEAR FLOODPLAIN
FLOW ARROW
FIRE HYDRANT
CATCH BASIN
STOP SIGN
EXISTING WATER WELL
FOUND ALUM. CAP MONUMENT
FOUND BRASS CAP MONUMENT
INFILL LOTS



VICINITY MAP
HAMMOND SUBDIVISION
1"=500'

PLAN SHEET INDEX

SHEET	DESCRIPTION
PP-1	COVER SHEET, PRE PLAT, VICINITY MAP & NOTES
PP-2	PARCEL TABLE, CURVE TABLE
PP-3	PARCEL SURVEY
PP-4	PRELIMINARY ENGINEERING PLAN STREET DETAILS
PP-5	PRELIMINARY SEWER PROFILES

1. MIDDLETON CITY WATER AND SEWER SERVICE SHALL BE EXTENDED TO ALL LOTS.
2. THE SUBJECT PROPERTY DOES NOT FALL WITHIN ANY FEMA FLOOD HAZARD ZONE. REFERENCE FIRM PANEL 16027C0253G EFFECTIVE 06/07/2019.
3. ALL LOTS SHALL HAVE A PERMANENT EASEMENT FOR PUBLIC UTILITIES, AND STREET LIGHTS OVER THE 10 (TEN) FEET ADJACENT TO ANY PUBLIC STREET. ALL LOTS SHALL HAVE A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE OVER THE 10 (TEN) FEET ADJACENT TO THE REAR LOT LINE. EXCEPT AS OTHERWISE SHOWN. THERE SHALL BE A 5 (FIVE) FOOT PUBLIC UTILITY, IRRIGATION AND LOT DRAINAGE EASEMENT ADJACENT TO ANY SIDE LOT LINE.
4. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF THE CITY OF MIDDLETON AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT
5. THE DEVELOPER AND/OR OWNER SHALL COMPLY WITH IDAHO CODE SECTION 31-3805 CONCERNING IRRIGATION WATER. THE DEVELOPER SHALL PROVIDE PRESSURIZED IRRIGATION WATER TO EACH LOT. ALL LOTS IN THIS SUBDIVISION WILL BE SUBJECT TO ASSESSMENTS OF THE CANYON COUNTY WATER COMPANY LTD. PRESSURIZED IRRIGATION WILL BE SUPPLIED BY A PRESSURE IRRIGATION PUMP STATION AND SERVICE LINES LOCATED ALONG THE REAR LOT LINES. THE SYSTEM IS TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
6. STORM DRAINAGE SHALL BE RETAINED ON SITE THROUGH RENTENTION SWALES AS SHOWN.
7. ALL COMMON LOTS AS SHOWN ARE TO BE OWNED AND MAINTAINED BY THE SUBDIVISION HOMEOWNERS ASSOCIATION OR ITS ASSIGNS.
8. ALL EXISTING STRUCTURES WILL BE REMOVED PRIOR TO DEVELOPMENT OF THE PHASE CONTAINING THE STRUCTURE.
9. SUBDIVISION PERIMETER TO BE FENCED PER APPROVED FENCING PLAN
10. ALL STREETS PROPOSED IN THIS DEVELOPMENT ARE PUBLIC STREETS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MIDDLETON STANDARDS
11. ALL EXISTING WELLS SHALL BE ABANDONED PER IDWR REGULATIONS. ALL SEPTIC SYSTEMS SHALL BE COMPLETELY REMOVED AND THE AREA RECOMPACTED PER GEOTECHNICAL REPORT.
12. FIRE PROTECTION WATER SHALL BE PROVIDED BY THE CITY OF MIDDLETON.
13. FIBER OPTIC TO BE PROVIDED TO EACH LOT DURING JOINT TRENCH CONSTRUSTION PER THE CITY OF MIDDLETON SUPPLEMENT TO THE ISPWC.
14. SEWER AND WATER CAPACITY SHALL BE RESERVED WHEN CITY APPROVES CONSTRUCTION DRAWINGS.
15. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
16. ALL LOTS ARE RESIDENTIAL BUILDING LOTS EXCEPT LOTS 1 & 2 BLOCK 1, AND LOT 15, 22 & 27 BLOCK 2 AND LOT 8 BLOCK 3.
17. COMMON LOTS; LOT 1 BLOCK 1 – EASEMENT BUFFER, LOT 2 BLOCK 1 DRAINAGE, LOT 15 BLOCK 2– IRRIGATION PUMP STATION (HOA), LOT 22 BLOCK 2– SEWER WATER EASEMENT, LOT 27 BLOCK 2– EASEMENT BUFFER, LOT 8 BLOCK 3– PARK DRAINAGE (HOA)
18. MAILBOX CLUSTER SHALL BE CONSTRUCTED IN LOT 8 BLOCK 3 WEST SIDE JUST SOUTH OF MULLIGAN/ARTESIAN INTERSECTION
19. PROJECT TO BE CONSTRUCTED IN ONE PHASE OF CONSTRUCTION.
20. VACATION OF EXISTING INGRESS/EGRESS EASEMENT PER INST. NO. 2021-073879
21. ALL CENTERLINE RADI SHALL BE GREATER THAN 90'
22. STREET LIGHTS ALONG STATE HIGHWAY 44 SHALL BE INSTALLED AS REQUIRED

SCALE IN FEET
1"=60'

DEVELOPMENT FEATURES

ACREAGE
TOTAL PARCEL - 11.66 ACRES
TOTAL LOTS - 47
BUILDABLE LOTS - 40
COMMON LOTS - 7
COMMON LOT AREA = 2 Dac, 14.7%
DENSITY DU/ACRE - 2.99

ZONING
EXISTING - MIDDLETON R-3
PROPOSED - MIDDLETON R-3

SEWAGE DISPOSAL
MIDDLETON CITY SEWER

WATER SUPPLY
MIDDLETON CITY WATER

CITY
MIDDLETON CITY IMPACT AREA

SCHOOL DISTRICT
MIDDLETON

FIRE DISTRICT
MIDDLETON

IRRIGATION DISTRICT
CANYON WATER COMPANY LTD

OWNER
VALUE LAND LLC
1015 VICTORIA AVE
FRUITLAND ID 83619

DEVELOPER
AARON GROSS

ENGINEER
DAVID A. BAILEY, P.E.
BAILEY ENGINEERING, INC
1119 E STATE ST. SUITE 210
EAGLE, ID 83616
208 938-0013

PLANNER/CONTACT
JARMON WAGONER, AICP
JP WAGONER PLANNING
208-761-2914

Bailey Engineering, Inc.
CIVIL ENGINEERING | PLANNING | CADD
4248 BROOKSIDE LANE
BOISE, ID 83714
TEL. 208 938-0013
www.baileyengineering.com

PROFESSIONAL ENGINEER REGISTERED 8272 STATE OF IDAHO DAVID A. BAILEY

CHECKED BY: DAVID A. BAILEY P.E.
DRAWN BY: DAB

REVISED
NO. DATE DESCRIPTION
2021-12-13 30' EASEMENT LAST BOUNDARY
2021-12-21 ADD NORTH STUB STREET

PRELIMINARY PLAT
ARTESIAN SPRINGS SUBDIVISION
VALUE LAND LLC

DATE: 10-18-2021
PROJECT: 1001-21

SHEET
PP-1

TABLES FOR
ARTESIAN SPRINGS SUBDIVISION

LOCATED IN THE NW 1/4 OF THE NE 1/4
SECTION 8, T.4N., R.2W., B.M.,
MIDDLETON , CANYON COUNTY, IDAHO
2021

Parcel Table			
Lot	Area	Perimeter	Type
BLOCK 1 Lot 3	8405	370	SFR
BLOCK 1 Lot 4	8250	370	SFR
BLOCK 1 Lot 5	8702	372	SFR
BLOCK 2 Lot 1	9919	394	SFR
BLOCK 2 Lot 2	8250	370	SFR
BLOCK 2 Lot 3	8250	370	SFR
BLOCK 2 Lot 4	8583	386	SFR
BLOCK 2 Lot 5	8660	416	SFR
BLOCK 2 Lot 6	19385	552	SFR
BLOCK 2 Lot 7	10265	435	SFR
BLOCK 2 Lot 8	8707	385	SFR
BLOCK 2 Lot 9	8250	370	SFR
BLOCK 2 Lot 10	8250	370	SFR
BLOCK 2 Lot 11	8250	370	SFR
BLOCK 2 Lot 12	8252	370	SFR
BLOCK 2 Lot 13	8514	370	SFR
BLOCK 2 Lot 14	11652	449	SFR
BLOCK 2 Lot 16	8406	373	SFR
BLOCK 2 Lot 17	8463	370	SFR
BLOCK 2 Lot 18	8259	371	SFR
BLOCK 2 Lot 19	8250	370	SFR
BLOCK 2 Lot 20	8327	376	SFR
BLOCK 2 Lot 21	8292	374	SFR
BLOCK 2 Lot 23	14309	476	SFR
BLOCK 2 Lot 24	9234	407	SFR
BLOCK 2 Lot 25	8439	380	SFR
BLOCK 2 Lot 26	8714	372	SFR
BLOCK 3 Lot 1	10041	420	SFR
BLOCK 3 Lot 2	9776	410	SFR
BLOCK 3 Lot 3	8759	381	SFR
BLOCK 3 Lot 4	9750	410	SFR
BLOCK 3 Lot 5	9749	410	SFR
BLOCK 3 Lot 6	9659	395	SFR
BLOCK 3 Lot 7	9146	387	SFR
BLOCK 3 Lot 9	8250	370	SFR
BLOCK 3 Lot 10	8326	371	SFR
BLOCK 3 Lot 11	9941	397	SFR
BLOCK 3 Lot 12	12772	491	SFR
BLOCK 3 Lot 13	12750	490	SFR
BLOCK 3 Lot 14	12124	469	SFR

Parcel Table			
Lot	Area	Perimeter	Type
BLOCK 1 Lot 1 OPEN	9799	714	EASEMENT BUFFER
BLOCK 1 Lot 2 OPEN	10076	40[illegible]	DRAINAGE
BLOCK 2 Lot 15 OPEN	4499	277	PI PUMP STATION
BLOCK 2 Lot 22 OPEN	3223	276	SEWER WATER EASEMENT
BLOCK 2 Lot 27 OPEN	10872	785	EASEMENT BUFFER
BLOCK 2 Lot 28 OPEN	21417	1488	ARTERIAL BUFFER
BLOCK 3 Lot 8 OPEN	35243	1313	PARK/DRAINAGE

Curve Table					
Curve #	Radius	Length	Chord	Bearing	Delta
C1	125.00	109.21	105.77	S24°04'13"E	50°03'28"
C2	125.00	98.73	96.20	N67°07'32"W	45°13'51"
C3	125.00	97.39	94.95	S23°18'48"W	44°38'32"
C4	125.00	97.39	94.95	S67°58'17"W	44°38'31"
C5	125.00	98.75	96.20	N21°51'41"W	45°15'51"
C6	125.00	19.23	19.21	N03°36'11"W	8°46'31"
C7	125.00	2.43	2.43	N08°35'58"W	1°06'45"
C8	125.00	109.21	105.77	S74°07'39"E	50°03'26"
C9	100.00	17.33	17.30	N04°11'24"W	9°56'36"
C21	150.00	53.47	53.18	N09°28'28"W	20°25'27"
C22	150.00	65.98	65.43	S86°33'34"E	25°11'38"
C23	55.00	56.04	53.38	N89°06'12"E	60°27'53"
C24	55.00	53.87	51.58	S53°42'40"E	56°54'23"
C25	55.00	64.98	61.28	S08°06'12"W	67°41'20"
C26	150.00	65.23	64.72	S11°46'37"E	24°54'57"
C27	150.00	0.73	0.73	S06°46'12"W	0°16'38"
C28	150.00	11.12	11.12	S03°04'58"W	4°14'38"
C29	150.00	41.04	40.91	S13°02'41"W	15°40'28"
C30	55.00	24.11	23.92	S23°30'08"E	25°07'05"
C31	55.00	48.80	47.30	S12°31'27"W	50°38'20"
C32	55.00	54.34	52.18	S66°18'00"W	58°38'26"
C33	55.00	33.27	32.76	N68°04'03"W	34°39'28"
C34	150.00	31.95	31.89	S76°25'18"W	12°12'21"
C35	150.00	20.21	20.19	S66°23'08"W	7°43'00"
C36	150.00	40.57	40.45	N82°00'32"W	15°29'50"
C37	150.00	12.90	12.89	N71°47'46"W	4°56'37"
C38	55.00	48.78	47.19	S74°06'33"W	50°48'43"
C39	55.00	26.98	26.71	N66°24'50"W	28°08'13"
C40	55.00	30.38	30.00	N36°34'17"W	31°38'12"
C41	55.00	60.54	57.53	N10°47'27"E	63°04'17"
C42	100.00	165.85	147.48	N48°33'11"W	95°01'23"
C43	100.00	5.89	5.88	S83°23'23"W	3°22'26"
C52	100.00	80.32	78.18	S22°14'25"E	46°01'18"
C53	100.00	77.68	75.74	S67°30'15"E	44°30'23"
C58	100.00	155.83	140.54	N40°36'02"E	89°17'03"

Bailey Engineering, Inc.
CIVIL ENGINEERING | PLANNING | CADD
4343 N. BROOKSIDE LANE
BOISE, ID 83714
TEL: 208-846-9613
www.baileyengineers.com

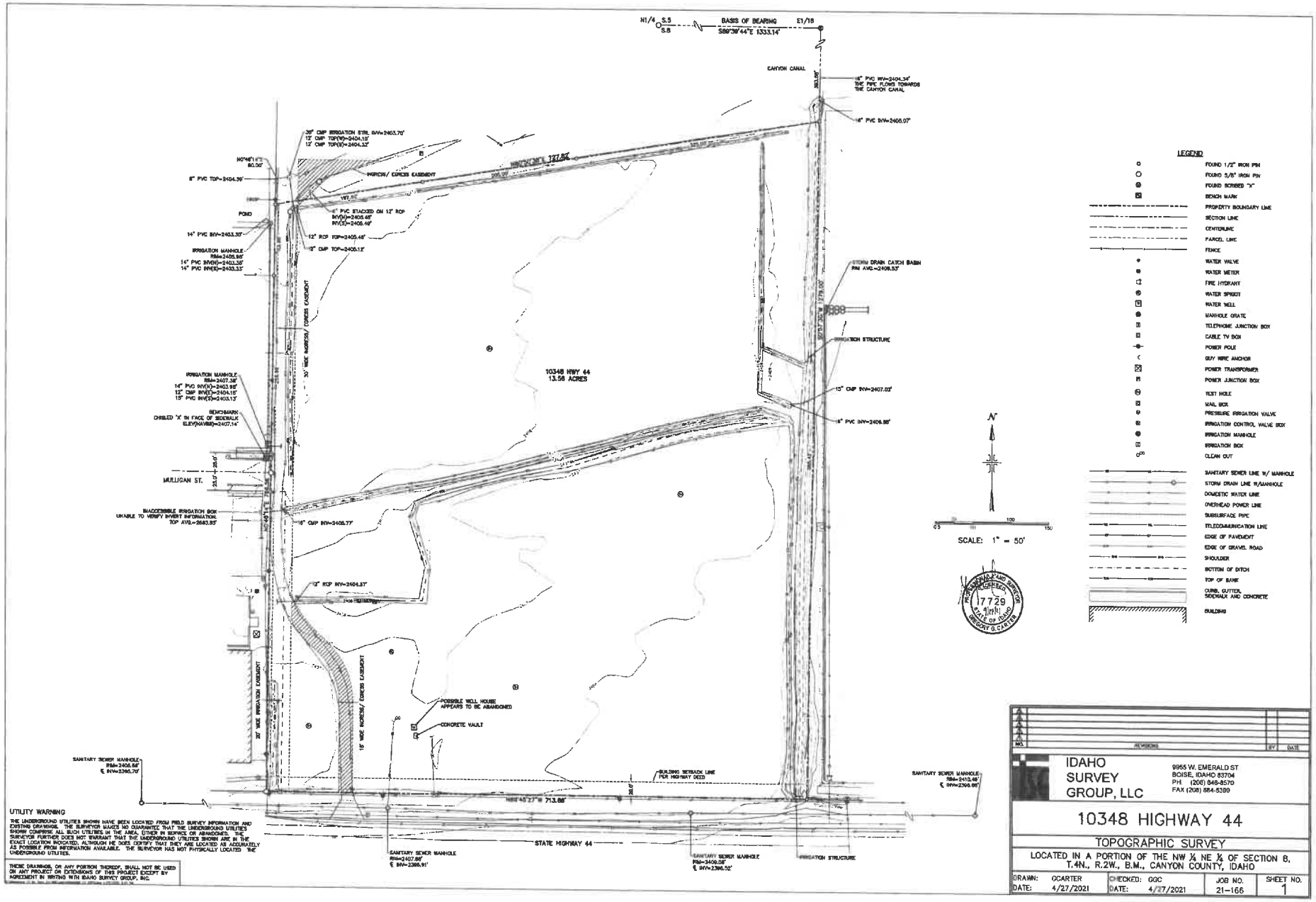
PROFESSIONAL ENGINEER REGISTERED
8272
STATE OF IDAHO
DAVID A. BAILEY

CHECKED BY: DAVID A. BAILEY P.E.
DRAWN BY: DAB/DES

REVISED			
NO.	DATE	DESCRIPTION	
	2021-12-01	ADD NORTH STAR STREET	

TABLES
ARTESIAN SPRINGS SUBDIVISION
VALUE LAND LLC

DATE: 10-18-2021
PROJECT: 1201-38
SHEET
PP-2



UTILITY WARNING

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH IDAHO SURVEY GROUP, INC.

NO.	REVISIONS	BY	DATE
1			
2			
3			
4			
5			

IDAHO SURVEY GROUP, LLC
9955 W. EMERALD ST
BOISE, IDAHO 83704
PH. (208) 846-8570
FAX (208) 884-8399

10348 HIGHWAY 44

TOPOGRAPHIC SURVEY

LOCATED IN A PORTION OF THE NW ¼ NE ¼ OF SECTION 8, T.4N., R.2W., B.M., CANYON COUNTY, IDAHO

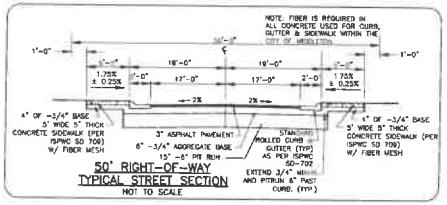
DRAWN: CCARTER	CHECKED: GGC	JOB NO.	SHEET NO.
DATE: 4/27/2021	DATE: 4/27/2021	21-166	1

PRELIMINARY ENGINEERING FOR ARTESIAN SPRINGS SUBDIVISION

LOCATED IN THE NW 1/4 OF THE NE 1/4
SECTION 8, T.4N., R.2W., B.M.,
MIDDLETON , CANYON COUNTY, IDAHO
2021

LEGEND

BOUNDARY	
LOT LINES	
ROAD CENTERLINE	
RIGHT OF WAY	
LOT NUMBER	1
BLOCK NUMBER	BLOCK 7
EASEMENT	
SETBACK	
CURB GUTTER & SW	
STREET NAME	W. ASHTON DR.
HANDICAP RAMP	
SEWER LINE	
WATER LINE	
STORM DRAIN LINE	
PRESSURE IRRIGATION	
GRAVITY IRRIGATION	
FLOW ARROW	
FIRE HYDRANT	
CATCH BASIN	
STOP SIGN	
EXISTING WATER WELL	
FOUND ALUM. CAP	
MONUMENT	
FOUND BRASS CAP	
MONUMENT	
INFILL LOTS	



50' RIGHT-OF-WAY
TYPICAL STREET SECTION
NOT TO SCALE

Bailey Engineering, Inc.
CIVIL ENGINEERING | PLANNING | CADD
11115 STATE STREET, SUITE 212
EAGLE, ID 83616
TEL. 208-938-0013
www.baileyengineers.com

PROFESSIONAL ENGINEER REGISTERED
NO. 12247
STATE OF IDAHO
DAVID A. BAILEY

CHECKED BY: DAVID A. BAILEY P.E.
DRAWN BY: DAD/DCB

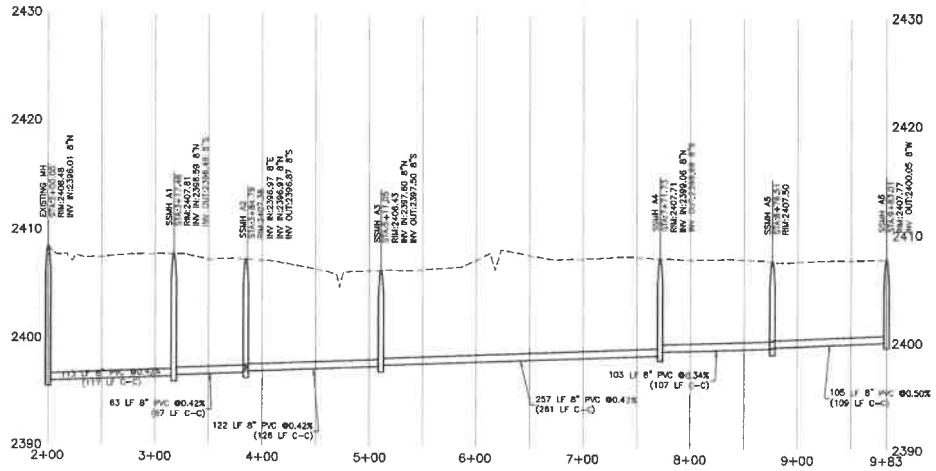
REVISED			
NO.	DATE	DESCRIPTION	
	2021-11-10	ADD SEWER & WATER STUB	

PRELIMINARY ENGINEERING
ARTESIAN SPRINGS SUBDIVISION
VALUE LAND LLC

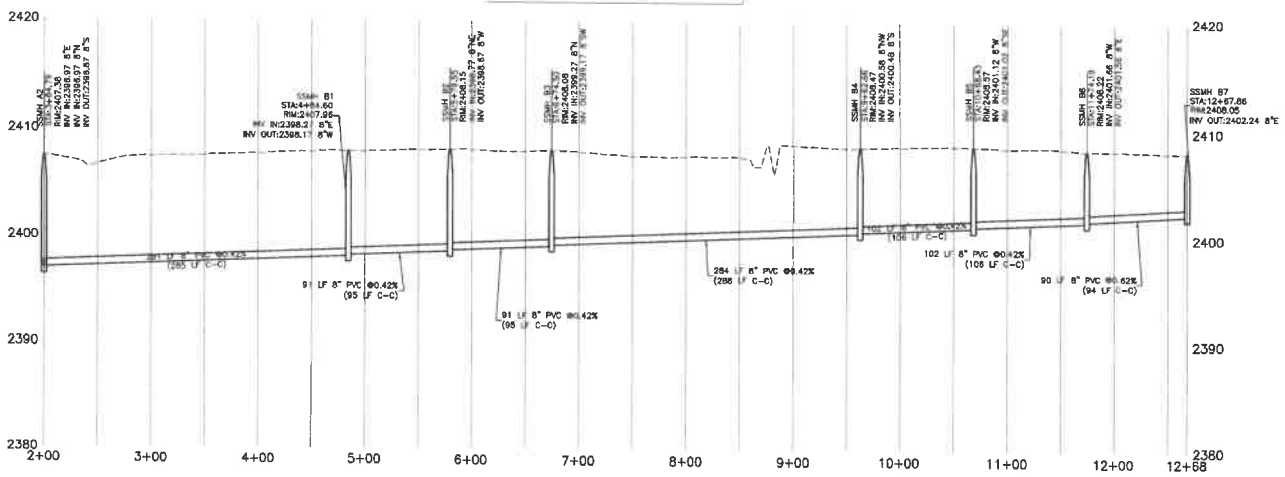
DATE: 10-18-2021
PROJECT: C2017-004

SHEET
PP-4

SEWER LINE A PROFILE



SEWER LINE B PROFILE



50 0 25 50 100
SCALE IN FEET
1"=50'

Bailey Engineering, Inc.
CIVIL ENGINEERING | PLANNING | CADD
1115 E STATE STREET, SUITE 210
EAGLE, IDAHO 83616
TEL: 208-938-0011
www.baileyengineering.com

PROFESSIONAL ENGINEER
REGISTERED
DAVID A. BAILEY
STATE OF IDAHO
8577

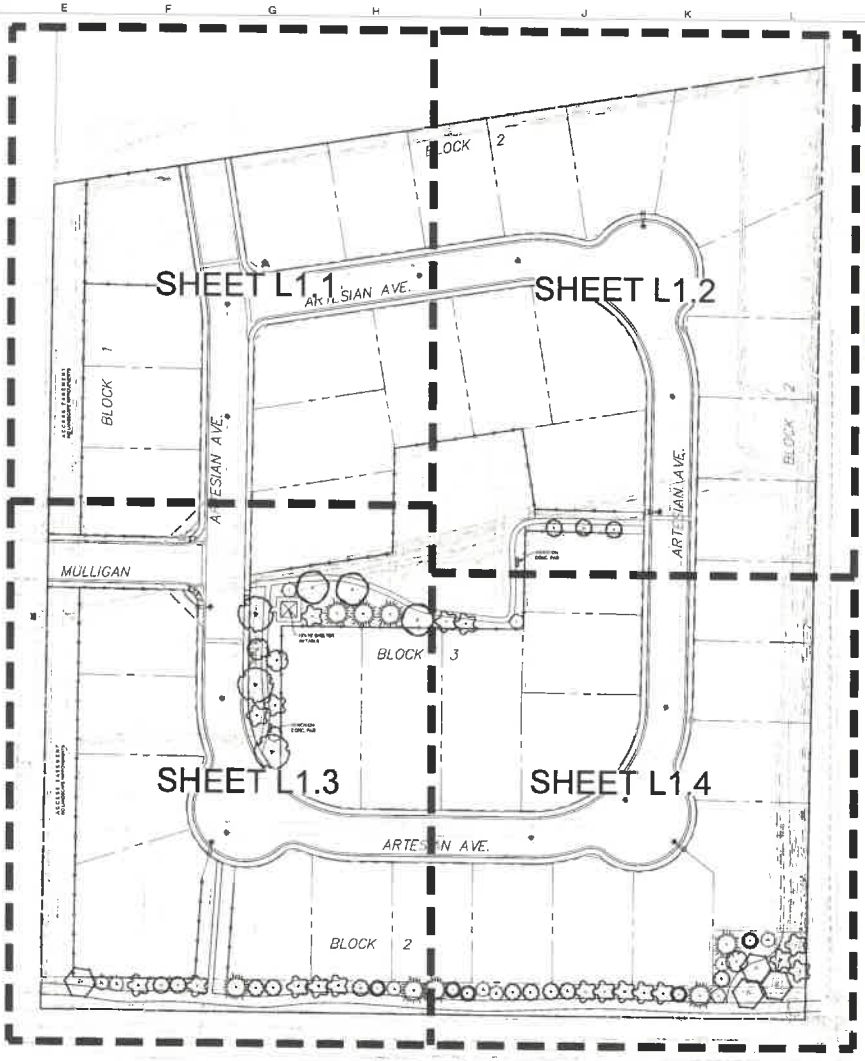
CHECKED BY: DAVID A. BAILEY P.E.
DRAWN BY:
DATE: 04/07/03

REVISED
NO. DATE DESCRIPTION
2011-12-01 ADD NORTH 310.8 STREET

PRELIMINARY PROFILES
ARTESIAN SPRINGS SUBDIVISION
VALUE LAND LLC

DATE: 10-12-2007
PROJECT:
CODE1:

SHEET
PP-5



OVERALL LANDSCAPE PLAN

SCALE: 1" = 50'-0"

ARTESIAN SPRINGS SUBDIVISION
LOCATED WITHIN NW ¼, OF THE NE ¼,
SECTION 8, T.4N.; R.2W. B.M.
CANYON COUNTY, MIDDLETON, IDAHO

VICINITY MAP

SCALE: NTS

SITE DEVELOPMENT FEATURES

TOTAL PARCEL ACRES	13.08 ACRES
TOTAL COMMON ACRES	1.17 ACRES
% OF TOTAL AREA	8.93%
DENSITY D/ACRE	3.06
TOTAL LOTS	47
TOTAL BUILDING LOTS	46
TOTAL COMMON LOTS	1

SEWER
CITY OF MIDDLETON

WATER
CITY OF MIDDLETON

IRRIGATION
CANYON WATER CO LTD

SCHOOL
MIDDLETON SCHOOL DISTRICT

EMERGENCY SERVICES
FIRE - MIDDLETON FIRE DISTRICT
POLICE - CITY OF MIDDLETON

LANDSCAPING INFORMATION

COMMON LOTS (NOT REQUIRED)
1 TREE / 1,500 SF @ 40,853 SF =27 TREES
TOTAL COMMON AREA TREES = 19 SHADE TREES + 5 CONIFERS + 8 FLOWERING =32 PROVIDED

STATE HWY FRONTAGE (NOT REQUIRED)
1 TREE / 1,500 SF @ 21,417 SF =14 TREES
TOTAL COMMON AREA TREES = 15 SHADE TREES + 18 CONIFERS + 14 FLOWERING =47 PROVIDED

WESTERN EASEMENT (NOT REQUIRED)
1 TREE / 1,500 SF @ 20,871 SF =13 TREES
TOTAL COMMON AREA TREES = 0 SHADE TREES + 0 CONIFERS + 0 FLOWERING =0 PROVIDED

NOTE
CONIFERS AND ORNAMENTAL TREES ARE SUBSTITUTED AT THE RATE OF 2 PER SHADE TREE

TOTAL SPECIES PROVIDED = 9

SITE AMENITIES
AMENITIES PROVIDED
COMMUNITY GATHERING SPACE
OPEN GRASSY PLAY AREA
WALKING PATH CONNECTIVITY

PLANNER
JARMON WAGONER, AICP
JP WAGONER PLANNING
208-781-2914

OWNER
VALUE LAND LLC
1015 VICTORIA AVE.
FRUITLAND, ID 83619

ENGINEER
DAVID A BAILEY, P.E
BAILEY ENGINEERING, INC
1119 E. STATE ST. SUITE 210
EAGLE, ID 83616
(208) 938-0013

DEVELOPER
AARON GRDBS

LANDSCAPE ARCHITECT
JOHN ROTERS, PLA
SOUTH BECK AND BAIRD
2002 S. VISTA AVE
BOISE, ID 83705
(208) 342-2999

SEE SHEET L1.1-L1.4 FOR DETAILED LANDSCAPE PLANS, SEE SHEETS L2.0-L2.1 FOR LANDSCAPE DETAILS

STAMP

DATE
12/2/2021

SOUTH BECK & BAIRD
2002 S. Vista Ave.
Boise, ID 83705
208 342-2999 Office
www.sbdlandscape.com
South Landscape Architecture P.C.
Dba South Beck & Baird Landscape Architecture P.C.

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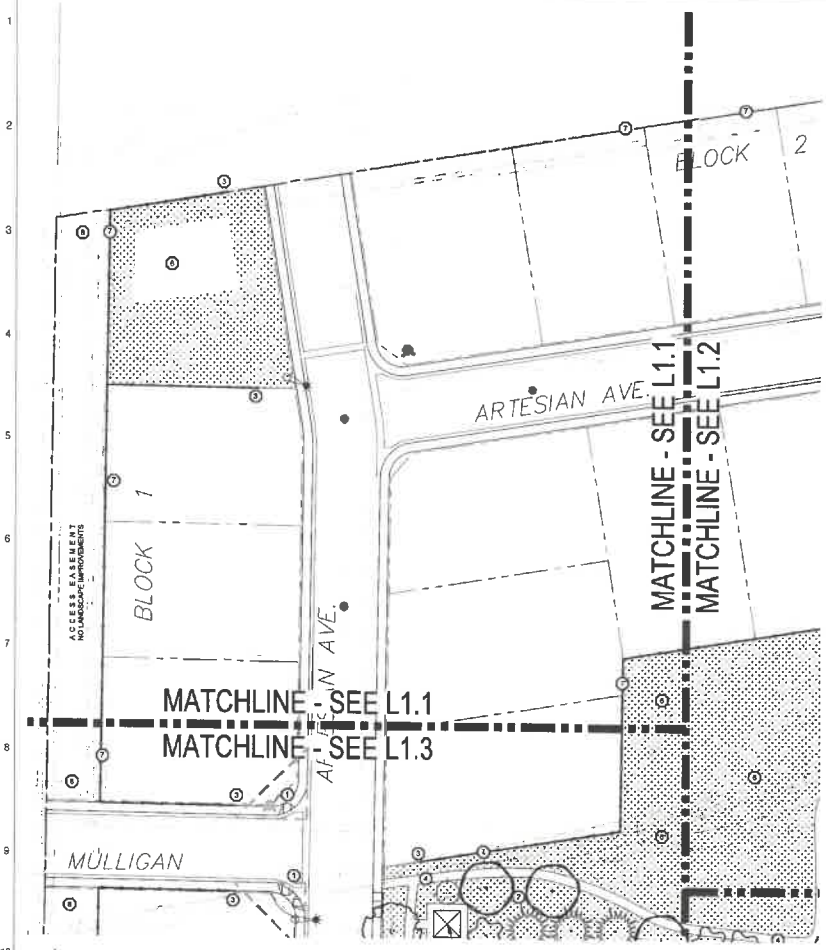
REVISIONS

No	Date	Description

OVERALL LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB
CHECKED BY: JDR
PROJECT NUMBER: 21-078
SHEET: L1.0



LANDSCAPE PLAN

SCALE: 1" = 30'-0"

LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- PLANTS TO BE INSTALLED
- STEEL EDGING, SEE DETAIL 1/L2.0
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAILS 2 & 3/L2.0
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CONCRETE OR ASPHALT PEDESTRIAN PATHWAY PER CIVIL

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME / COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				SEE DETAIL 7/L2.0
	Betula nigra / River Birch	2" B&B	35' hgt. 25' w	CLASS II
	Gleditsia triacanthos inermis 'Skyline' / Skyline Honeylocust	2" B&B multi-stem	45' hgt. 30' w	CLASS II
	Amelanchier lamarckii 'Snowcloud' / Snowcloud Serviceberry	2" B&B	25' hgt. 20' w	CLASS II
	Prunus cerasifera 'Thundercloud' / Thundercloud Plum	2" B&B	20' hgt. 20' w	CLASS II
	Quercus robur x alba / Streetspire Oak	2" B&B	35' hgt. 18' w	CLASS II
	Tilia tomentosa 'Sterling' / Sterling Linden	2" B&B	45' hgt. 35' w	CLASS II
CONIFEROUS TREES				SEE DETAIL 6/L2.0
	Cedrus deodara 'Aurea' / Golden Deodar Cedar	6' B&B	35' hgt. 15' w	CONIF.
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Limber Pine	6' B&B	25' hgt. 15' w	CONIF.
	Picea pungens 'Moerheim' / Moerheim Blue Spruce	8'-10' B&B	45' hgt. 20' w	CONIF.
GROUND COVER/ GRASSES/ PERENNIALS				SEE DETAIL 4/L2.0
	Coreopsis rosea 'Sweet Dreams' / Sweet Dreams Tickseed	1 Gal	1' hgt x 1' wide	
	Calamagrostis x acutiflora 'Overdam' / Dwarf Feather Grass	1 Gal	3' hgt x 2' wide	
SHRUBS				SEE DETAIL 5/L2.0
	Cornus alba 'Bailhalo' / Ivory Halo Dogwood	5 Gal.	8' hgt. x 6' wide	
	Rhus trilobata 'Autumn Amber' / Autumn Amber sumac	2 Gal	8' hgt x 8' wide	
	Rosa x 'Noaspiaw' / Pink Splash Groundcover Rose	2 Gal	2' hgt x 4' wide	

CALLOUT LEGEND

1. 40' VISION TRIANGLE
2. OPEN GRASSY PLAY SPACE
3. START FENCE LINE AT 20' BUILDING SETBACK
4. 5' WIDE PATHWAY
5. PATHWAY, PER CIVIL
6. STORM WATER MANAGEMENT, PER CIVIL
7. 6' VINYL PRIVACY FENCE, SEE DETAIL 5 L2.0
8. ACCESS EASEMENT

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION. ALL PLANT MATERIAL SHALL BE GRADE #1 OR BETTER
2. ALL PLANTING BEDS AND TREE WELLS IN LAWN AREAS (WELLS TO BE 3' IN DIAMETER) SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 1" BARK MULCH. SUBMIT SAMPLE FOR APPROVAL BY OWNER
3. ALL LAWN AREAS SHALL BE SODDED WITH 100% TURF TYPE TALL FESCUE (FESTUCA ARUNDINACIA). CONTRACTOR SHALL VERIFY AND MATCH THE VARIETY EXISTING IN THE ADJACENT DEVELOPMENT
4. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER
5. PLANTING BACKFILL FOR TREES AND PLANTING BEDS SHALL BE 5 PARTS TOPSOIL AND 1 PART COMPOST WITH STRAW. STAKE ALL TREES PER DETAILS.
6. ALL LAWN AREAS SHALL HAVE 6" OF TOPSOIL AND ALL PLANTING BEDS SHALL HAVE 12" OF TOPSOIL (MINIMUM). TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL LARGER THAN 1" IN ANY DIMENSION, A PH FROM 5.5 TO 7.0. TOP SOIL FROM SITE SHALL BE USED, IF MEETING THESE STANDARDS. PLACE 1/2" COMPOST OVER ALL LANDSCAPED AREAS AND ROTOTILL INTO TOP 4", SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE, 1" BELOW SURFACE OF WALKS AND CURBS IN AREAS TO BE SODDED AND 3" IN PLANTING BED AREAS
7. FERTILIZE ALL TREES AND SHRUBS WITH "AGRIFORM" PLANTING TABLETS, 21 GRAM QUANTITY PER MANUFACTURER'S RECOMMENDATION
8. PLANT MATERIAL SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN PERMISSION OF OWNER. SUBMIT NAMES OF THREE SUPPLIERS CONTACTED IF SUBSTITUTION IS REQUESTED AND PLANT MATERIAL SPECIFIED IS NOT AVAILABLE.
9. SHRUB PLANTING BEDS SHALL BE SHOVEL EDGED TO CREATE A DISTINCT SEPARATION OF LANDSCAPE TYPES
10. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE OPERATION AND DISPOSE OF PROPERLY OFF SITE
11. ALL LANDSCAPE AREAS SHALL HAVE AN STATE OF THE ART AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND IS PROPERLY ZONED FOR REQUIRED WATER USES AND HAS A WEATHER STATION CAPABLE OF TURNING OFF FOR RAIN/FREEZE EVENTS. ALL SHRUB ZONES, SPRAY ZONES AND DEAR DRIVEN ZONES SHALL BE PLACED ON SEPARATE ZONES. DO NOT EXCEED A MAXIMUM OF 5 FPS IN ALL MAINLINE AND LATERAL LINES.
12. COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST PER FIELD CONDITIONS
13. ALL EXISTING TREES SHOWN TO REMAIN SHALL BE RETAINED AND PROTECTED THROUGH OUT CONSTRUCTION
14. NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES
15. STORM PONDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM
16. ALL TREES TO BE LOCATED A MINIMUM OF 8 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK
17. TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET ACHD STANDARDS

IRRIGATION NOTES:

1. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS
2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES
3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM
6. ELECTRONIC WATER DISTRIBUTION TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS
   a. PRECISE INDIVIDUAL STATION TIMING
   b. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
   c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
   d. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
   e. POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
8. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING
8. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS)
9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (8) AUTOMATIC VALVE ZONES APPROVE Q C V LOCATIONS WITH LANDSCAPE ARCHITECT
10. POINT OF CONNECTION TO BE APPROVED BY JURISDICTION PROVIDING WATER SOURCE.

STAMP:

STATE OF IDAHO
JOHN DAVID RUSSELL
LICENSED LANDSCAPE ARCHITECT

DATE: 12/2/2021

SOUTH BECK & BAIRD
2020 S. Vista Ave.
Boise, ID 83705
208 342 2290 Office
rsd@sbb-pa.com
www.sbb-pa.com
South Landscape Architecture P.C.
Dba South Beck & Baird Landscape Architecture P.C.

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REVISIONS

No.	Date	Description

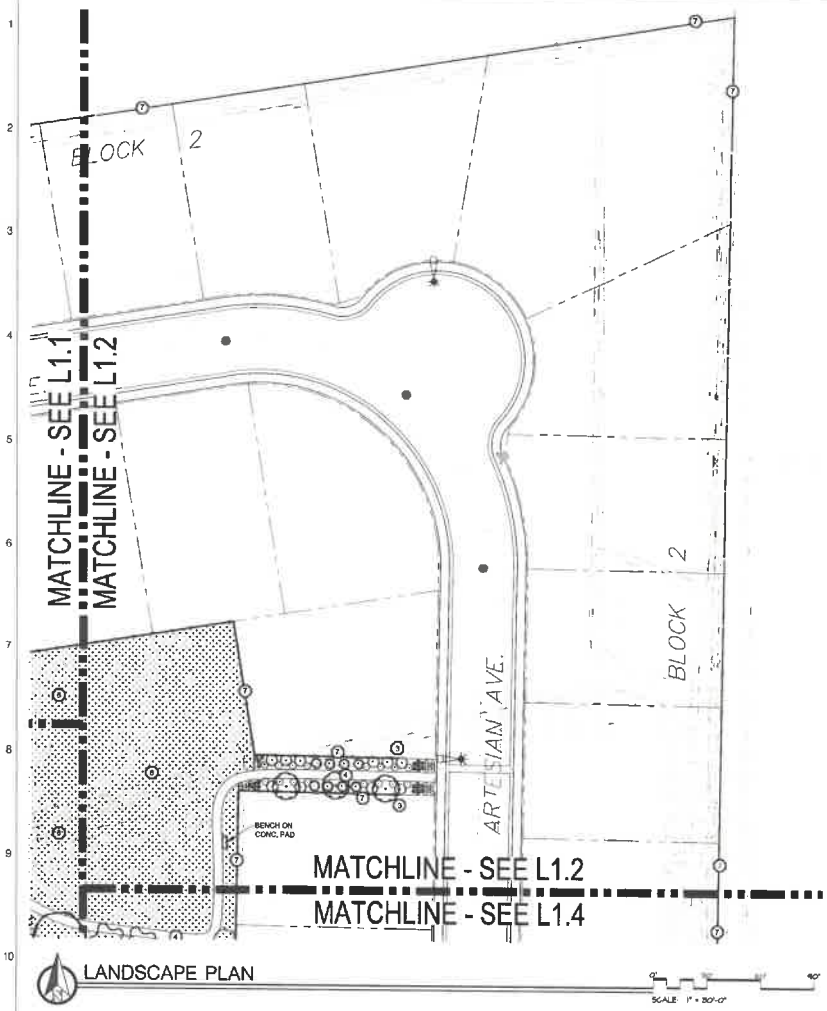
LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB

CHECKED BY: JDR

PROJECT NUMBER: 21-0718

SHEET: L1.1



LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- PLANTS TO BE INSTALLED
- STEEL EDGING, SEE DETAIL 1/L2.0
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAILS 2 & 3/L2.0
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CONCRETE OR ASPHALT PEDESTRIAN PATHWAY PER CIVIL

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME / COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				SEE DETAIL 7/L2.0
	Betula nigra / River Birch	2" B&B	36' hgt 25' w	CLASS II
	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honeylocust	2" B&B multi-stem	45' hgt 30' w	CLASS II
	Amelanchier lamarckii 'Snowcloud' / Snowcloud Serviceberry	2" B&B	25' hgt 20' w	CLASS II
	Prunus cerasifera 'Thundercloud' / Thundercloud Plum	2" B&B	20' hgt. 20' w	CLASS I
	Quercus robur x alba / Streetspire Oak	2" B&B	35' hgt 15' w	CLASS I
	Tilia tomentosa 'Sterling' / Sterling Linden	2" B&B	45' hgt 35' w	CLASS II
CONIFEROUS TREES				SEE DETAIL 6/L2.0
	Cedrus deodara 'Aurea' / Golden Deodar Cedar	8' B&B	30' hgt. 15' w	CONIF.
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Limber Pine	8' B&B	25' hgt. 15' w	CONIF.
	Picea pungens 'Moerheim' / Moerheim Blue Spruce	8'-10' B&B	40' hgt. 20' w	CONIF.
GROUND COVERS, GRASSES & PERENNIALS				SEE DETAIL 4/L2.0
	Coreopsis rosea 'Sweet Dreams' / Sweet Dreams Tickseed	1 Gal.	1' hgt. x 1' wide	
	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Grass	1 Gal	3' hgt. x 2' wide	
SHRUBS				SEE DETAIL 5/L2.0
	Cornus alba 'Bailhalo' / Ivory Halo Dogwood	5 Gal.	6' hgt. x 6' wide	
	Rhus trilobata 'Autumn Amber' / Autumn Amber sumac	2 Gal	6' hgt. x 6' wide	
	Rosa x 'Noaspleen' / Pink Splash Groundcover Rose	2 Gal	2' hgt. x 4' wide	

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IRRIGATION NOTES:

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9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES APPROVED O.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.
10. POINT OF CONNECTION TO BE APPROVED BY JURISDICTION PROVIDING WATER SOURCE

STAMP: STATE OF IDAHO, JOHN DAVID RUSSELL, 12-2-2021, LICENSED LANDSCAPE ARCHITECT

DATE: 12/2/2021

SOUTH BECK & BAIRD
2021 Lake Lane
Boise, ID 83705
208 342 2999 Office
www.sbdpc.com
South Landscape Architecture P.C.
Dike South Beck & Baird Landscape Architecture P.C.

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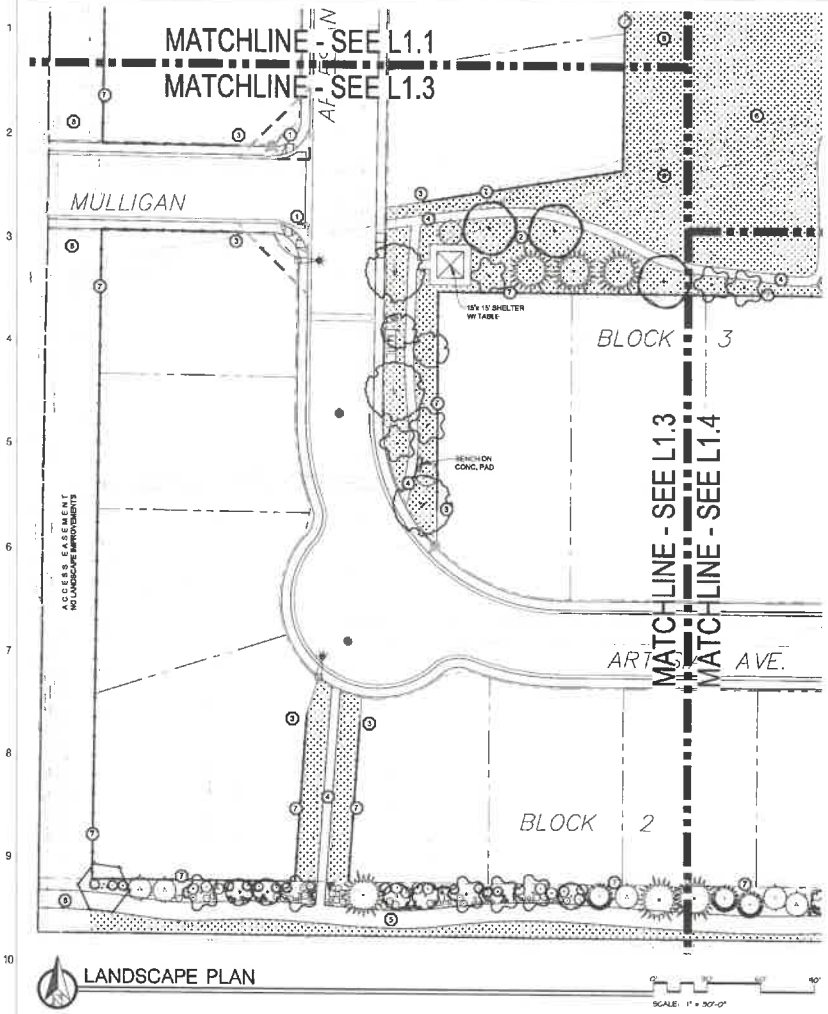
REVISIONS

No	Date	Description

LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB
CHECKED BY: JDR
PROJECT NUMBER: 21-0718
SHEET: L1.2



LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- PLANTS TO BE INSTALLED
- STEEL EDGING, SEE DETAIL 1/L2.0
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAILS 2 & 3/L2.0
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CONCRETE OR ASPHALT PEDESTRIAN PATHWAY PER CIVIL

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME / COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				SEE DETAIL 7/L2.0
	Betula nigra River Birch	2" B&B	35' hgt. 25' w	CLASS II
	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B multi-stem	45' hgt. 30' w	CLASS II
	Amelanchier laevis 'Snowcloud' Snowcloud Serviceberry	2" B&B	25' hgt. 20' w	CLASS II
	Prunus cerasifera 'Thundercloud' Thundercloud Plum	2" B&B	20' hgt. 20' w	CLASS I
	Quercus robur x alba Streetspire Oak	2" B&B	35' hgt. 15' w	CLASS I
	Tilia tomentosa 'Sterling' Sterling Linden	2" B&B	45' hgt. 35' w	CLASS II
CONIFEROUS TREES				SEE DETAIL 8/L2.0
	Cedrus deodara 'Aurea' Golden Deodar Cedar	8' B&B	35' hgt. 15' w	CONIF
	Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Limber Pine	8' B&B	25' hgt. 15' w	CONIF
	Picea pungens 'Moerheim' Moerheim Blue Spruce	8'-10' B&B	45' hgt. 20' w	CONIF
GROUND COVERS/ GRASSES/ PERENNIALS				SEE DETAIL 4/L2.0
	Coreopsis rosea 'Sweet Dreams' Sweet Dreams Tickseed	1 Gal	1' hgt. x 1' wide	
	Calamagrostis x acutiflora 'Overdam' Dwarf Feather Grass	1 Gal	3' hgt. x 2' wide	
SHRUBS				SEE DETAIL 5/L2.0
	Cornus alba 'Bailhalo' Ivory Halo Dogwood	5 Gal	6' hgt. x 6' wide	
	Rhus trilobata 'Autumn Amber' Autumn Amber sumac	2 Gal	6' hgt. x 8' wide	
	Rosa x 'Noaspian' Pink Splash Groundcover Rose	2 Gal	2' hgt. x 4' wide	

CALLOUT LEGEND

1. 40' VISION TRIANGLE
2. OPEN GRASSY PLAY SPACE
3. START FENCE LINE AT 20' BUILDING SETBACK
4. 5' WIDE PATHWAY
5. PATHWAY; PER CIVIL
6. STORM WATER MANAGEMENT, PER CIVIL
7. 6' VINYL PRIVACY FENCE, SEE DETAIL 5/L2.0
8. ACCESS EASEMENT

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION. ALL PLANT MATERIAL SHALL BE GRADE #1 OR BETTER
2. ALL PLANTING BEDS AND TREE WELLS IN LAWN AREAS (WELLS TO BE 3' IN DIAMETER) SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 1" BARK MULCH. SUBMIT SAMPLE FOR APPROVAL BY OWNER
3. ALL LAWN AREAS SHALL BE SODDED WITH 100% TURF TYPE TALL FESCUE (FESTUCA ARUNDINACIA). CONTRACTOR SHALL VERIFY AND MATCH THE VARIETY EXISTING IN THE ADJACENT DEVELOPMENT
4. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER
5. PLANTING BACKFILL FOR TREES AND PLANTING BEDS SHALL BE 5 PARTS TOPSOIL AND 1 PART COMPOST WITH STRAW. STAKE ALL TREES PER DETAILS
6. ALL LAWN AREAS SHALL HAVE 6" OF TOPSOIL AND ALL PLANTING BEDS SHALL HAVE 12" OF TOPSOIL (MINIMUM). TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL LARGER THAN 1" IN ANY DIMENSION, A PH FROM 5.5 TO 7.0. TOP SOIL FROM SITE SHALL BE USED, IF MEETING THESE STANDARDS. PLACE 1/2" COMPOST OVER ALL LANDSCAPED AREAS AND ROTOTILL INTO TOP 4". SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE, 1" BELOW SURFACE OF WALKS AND CURBS IN AREAS TO BE SODDED AND 3" IN PLANTING BED AREAS
7. FERTILIZE ALL TREES AND SHRUBS WITH "AGRIFORM" PLANTING TABLETS, 21 GRAM QUANTITY PER MANUFACTURER'S RECOMMENDATION
8. PLANT MATERIAL SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN PERMISSION OF OWNER. SUBMIT NAMES OF THREE SUPPLIERS CONTACTED IF SUBSTITUTION IS REQUESTED AND PLANT MATERIAL SPECIFIED IS NOT AVAILABLE.
9. SHRUB PLANTING BEDS SHALL BE SHOVEL EDGED TO CREATE A DISTINCT SEPARATION OF LANDSCAPE TYPES.
10. IMMEDIATELY CLEAN UP ANY TOPSOIL, OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE OPERATION AND DISPOSE OF PROPERLY OFF SITE
11. ALL LANDSCAPE AREAS SHALL HAVE AN STATE OF THE ART AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND IS PROPERLY ZONED FOR REQUIRED WATER USES AND HAS A WEATHER STATION CAPABLE OF TURNING OFF FOR RAIN/FREEZE EVENTS. ALL SHRUB ZONES, SPRAY ZONES AND GEAR DRIVEN ZONES SHALL BE PLACED ON SEPARATE ZONES. DO NOT EXCEED A MAXIMUM OF 5 FPS IN ALL MAINLINE AND LATERAL LINES
12. COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST PER FIELD CONDITIONS
13. ALL EXISTING TREES SHOWN TO REMAIN SHALL BE RETAINED AND PROTECTED THROUGH OUT CONSTRUCTION
14. NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES
15. STORM PONDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
16. ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
17. TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET ACHD STANDARDS.

IRRIGATION NOTES:

1. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS
2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 12" AT PLANTER BEDS
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM
5. ELECTRONIC WATER DISTRIBUTION TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS
   a. PRECISE INDIVIDUAL STATION TIMING
   b. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
   c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
   d. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
   e. POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
6. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING
8. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS)
9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (8) AUTOMATIC VALVE ZONES APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT
10. POINT OF CONNECTION TO BE APPROVED BY JURISDICTION PROVIDING WATER SOURCE.

STAMP:

DATE: 12/2/2021

SOUTH BECK & BAIRD
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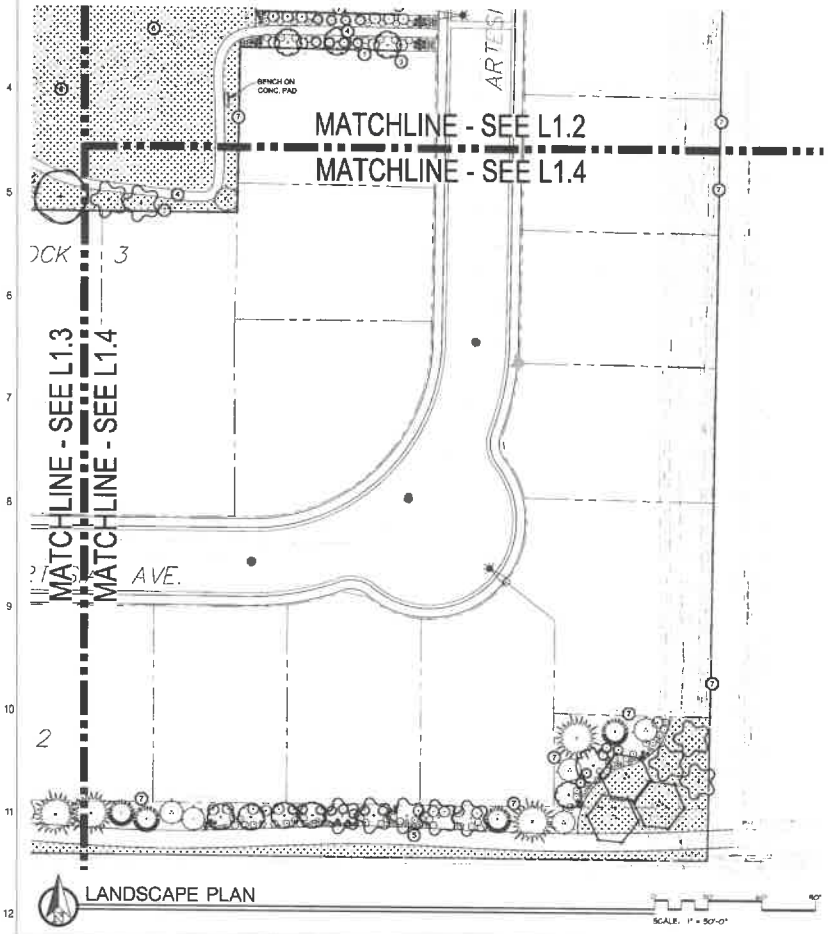
REVISIONS

No.	Date	Description

LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB
CHECKED BY: JDR
PROJECT NUMBER: 21-078
SHEET: L1.3



LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- PLANTS TO BE INSTALLED
- STEEL EDGING SEE DETAIL 1/L2.0
- 5' SOLID TAN VINYL PRIVACY FENCE. SEE DETAILS 2 & 3/L2.0
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CONCRETE OR ASPHALT PEDESTRIAN PATHWAY PER CIVIL

PLANT SCHEDULE

NOTE All trees to be grade #1 (Shown at 90% Maturity)

KEY	BOTANICAL NAME / COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				SEE DETAIL 7/L2.0
	Betula nigra / River Birch	2" B&B	35' hgt. 25' w	CLASS I
	Gleditsia triacanthos inermis 'Skyline' / Skyline Honeylocust	2" B&B multi-stem	45' hgt. 30' w	CLASS II
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	Calamagrostis x acutiflora 'Overdam' / Dwarf Feather Grass	1 Gal	2' hgt. x 2' wide	
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2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES
3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM.
5. ELECTRONIC WATER DISTRIBUTION TIMING CONTROLLERS ARE TO BE PROVIDED MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS
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10. POINT OF CONNECTION TO BE APPROVED BY JURISDICTION PROVIDING WATER SOURCE

DATE: 0/2/2021

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208.342.2999 office
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Dba South Beck & Baird Landscape Architecture P.C.

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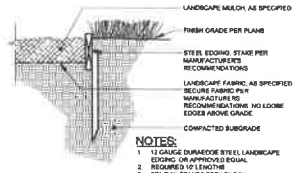
REVISIONS

No	Date	Description

LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

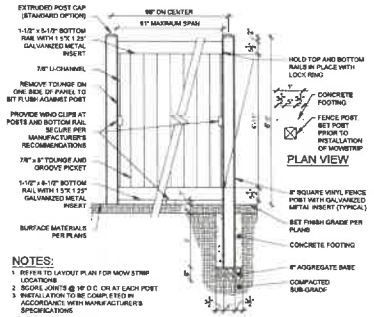
DRAWN BY: JRB
CHECKED BY: JDR
PROJECT NUMBER: 21-0716
SHEET



NOTES:
1. 13 GAUGE DURAEDGE STEEL LANDSCAPE EDGING OR APPROVED EQUAL
2. REQUIRED 10' LENGTHS
3. FOUR (4) STAKES PER LENGTH

1 DURA EDGE STEEL EDGING

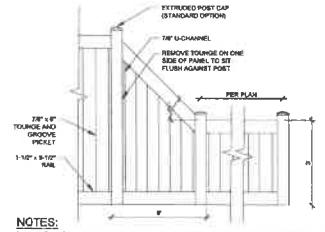
NOT TO SCALE



NOTES:
1. REFER TO LAYOUT PLAN FOR MOW STRIP LOCATIONS
2. SCORE JOINTS @ 18" O.C. OR AT EACH POST
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

2 VINYL FENCE PANEL

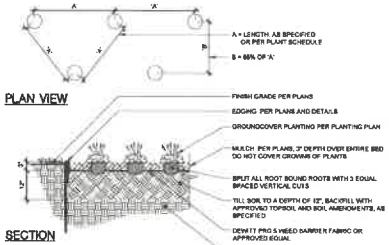
SCALE 1/2"= 1'-0"



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

3 VINYL FENCE - 3' HT TRANSITION *OPTIONAL

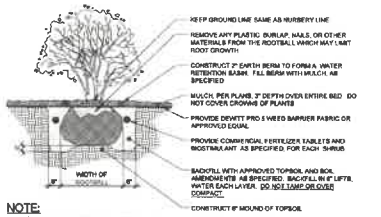
NOT TO SCALE



NOTES:
1. ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN
2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS

4 PERENNIAL & GROUNDCOVER PLANTING

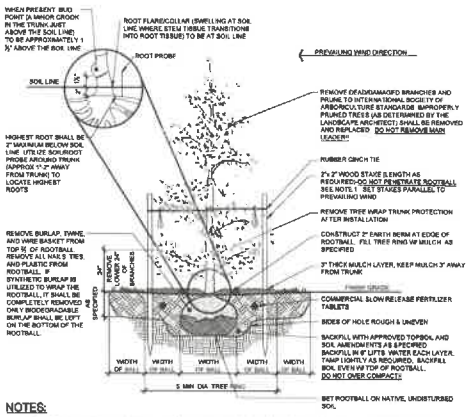
NOT TO SCALE



NOTE:
1. WATER SHRUB TWICE WITHIN FIRST 24 HOURS
2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS

5 SHRUB PLANTING

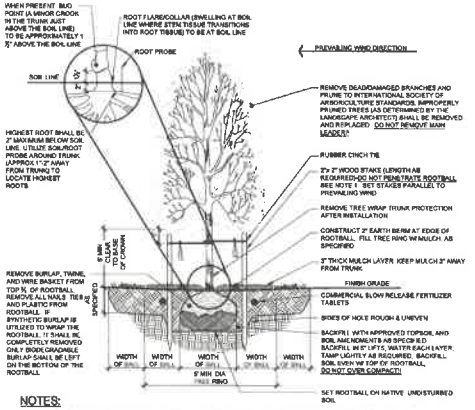
NOT TO SCALE



NOTES:
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION, HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICH EVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD
2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING
3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL
4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE
5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY

6 CONIFEROUS TREE PLANTING

NOT TO SCALE



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5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY
7. FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 6'-8" IN WIDTH: PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. EXTEND ROOT BARRIER TO 80% OF MATURE TREE CANOPY. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS. CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS

7 DECIDUOUS TREE PLANTING

NOT TO SCALE

STAMP:

DATE: 12/2/2021

SOUTH BECK & BAIRD
2003 S. Vista Ave. Boise, ID 83705
208 342.2399 Office
www.sbbaird.com
info@sbbaird.com
South Landscape Architecture P.C.
DBA South Beck & Baird Landscape Architecture P.C.

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REVISIONS

No.	Date	Description

DETAIL SHEET
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB
CHECKED BY: JDR
PROJECT NUMBER: 21-0719
SHEET: L2.0

MAGLIN

NOTE:

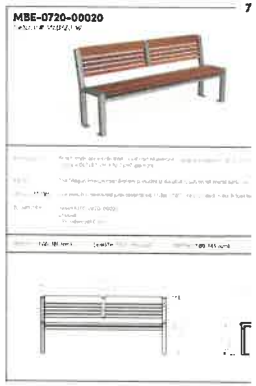
1 PICNIC TABLE

Scale: NOT TO SCALE

NOTE:

2 PERGOLA SHADE STRUCTURE

Scale: NTS



MAGLIN

NOTE:

3 BENCH

Scale: NOT TO SCALE

STAMP:

DATE 12/2/2021

SOUTH BECK & BAIRD

2002 S 9th Ave
Boise, ID 83705
208 342.2999 Office
www.sbdpc.com

South Landscape Architectures P.C.
Dba South Beck & Baird Landscape Architectures P.C.

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REVISIONS

No	Date	Description

AMENITIES DETAIL SHEET
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB

CHECKED BY: JDR

PROJECT NUMBER: 21-0718

SHEET: L2.1

EXHIBIT "B"

City Engineer & Planner Comments

Civil Dynamics
305 Cornell St. • Middleton, Idaho 83644 • 208.453.2028

October 21, 2021

TO: Jennica Reynolds, Planner

Cc: Bailey Engineering, David Bailey, PE

FROM: Civil Dynamics PC, City Engineer
Amy Woodruff, PE

RE: Artesian Springs Subdivision – Preliminary Plat

Thank you for the opportunity to review the above referenced preliminary plat submittal. We are in receipt of seven pages.

1. **Please condense the plat to fewer pages.**
2. Please add existing zoning information for adjacent parcels.
3. Revise Note 5 to reference Idaho Code and the irrigation district.
4. Dimension irrigation easements (all) and please identify and detail the easement for the irrigation/drainage facility along the east boundary.
5. Please revise Note 6 to specify storm water management to be retention swales.
6. Please extend the 8 inch sewer main at the northwest corner to the north boundary.
7. Please position lights at pedestrian crossings as possible/practical.
8. Connect Artesian Springs water main to the water main in Mulligan Street for looping.
9. Plan to develop and construct a pedestrian pathway along, and parallel to, the SH44 right of way.
10. Add pathway in Lot 26 to connect interior street to SH44.
11. Identify Lot 26 as having a blanket public utility and pathway easement.
12. Irrigation does not co-locate in stormwater management areas or other public utility area. Please think through Lot 8 – perhaps it is blanket public utility/stormwater with a designated area for irrigation.
13. A private lane may be developed to better lot the corners if desired – this would allow the knuckle to be eliminated. Up to 4 lots may front a private lane.
14. Add a note "Subdivision perimeter to be fenced per approved fencing plan" or other similar note stating subdivision perimeter to be fenced.

Civil Dynamics
305 Cornell St. • Middleton, Idaho 83644 • 208.453.2028

December 3, 2021

TO: Jennica Reynolds, Planner

Cc: Bailey Engineering, David Bailey, PE

FROM: Civil Dynamics PC, City Engineer
Amy Woodruff, PE

RE: Artesian Springs Subdivision – Revised Preliminary Plat

Thank you for the opportunity to review the above referenced preliminary plat submittal. We are in receipt of five pages.

1. **Review notes (all) and update lot/block numbering.**
2. Please add existing zoning information for adjacent parcels.
3. What is going on with irrigation on the east boundary? Is the drain on Artesian property?
4. Lights installed along SH44 as required. You may add a note and finalize going forward.
5. Need to show irrigation point of delivery/pump station location.

CITY OF MIDDLETON

P.O. Box 487 | 1103 W Main Street, Middleton, ID 83644
Phone (208) 585-3133 | Fax (208) 585-9601
citmid@middletonidaho.us | www.middleton.id.gov

PLANNER COMMENTS – ARTESIAN SPRINGS SUBDIVISION

October 19, 2021

1. Provide preliminary drainage calculations.
2. Fire Hydrants and streetlights need to be shown on plat, inside subdivision.
3. Show and call out all irrigation/ditch easements in development.
4. Add note: Any re-subdivision of this plat shall comply with the applicable regulations in effect at the time of the Re-subdivision.
5. Need phasing plan with lot breakdown per phase.
6. Work with City Engineer - Roads need to show a turning radius of minimum of 90 ft. Call out in notes.
7. Add a few benches along walking path as amenity. Call out amenity in notes.
8. Add note to call out common areas by lot and block and state who owns them.
9. Add note: All lots are residential building lots except lots (insert L/B)
10. Add cluster mailbox(s) in common area(s). Call out in notes.
11. Provide name of Avenue that will be the loop road through the entire subdivision. There will not be 4 different road names.
12. Add note: All streets proposed in this development are public streets and shall be constructed in accordance with City of Middleton standards.
13. Add note: All existing wells shall be abandoned per IDWR regulations. All septic systems shall be completely removed and the area recompacted per geotechnical report.
14. Add note: Fire protection water shall be provided by the City of Middleton,
15. Add note: Fiber optic to be provided to each lot during Joint Trench construction per the City of Middleton Supplement to the ISPWC.
16. Show all public and private easements on preliminary plat.
17. Vacate Ingress/Egress Easement. Provide agreement showing vacation.
18. Work with City Engineer on irrigation ditch and fence along property line.
19. Add note: Sewer and water capacity shall be reserved when City approves construction drawings.
20. Note 3: Easement can be changed from 15 ft to 10 ft.
21. Will need to construct a landscape buffer and large meandering sidewalk to match the frontage buffer to the west and east.
22. Address any additional comments from City Engineer, MRFD, ITD, Irrigation District.

Jennica Reynolds

Middleton City Deputy Clerk, Planning

EXHIBIT “C”

300’ Landowners Comments

CITY OF MIDDLETON
RECEIVED
NOV 08 2021

Greenlinks Homeowners Association
133 Greenlinks Avenue
Middleton, ID, 83644

November 8, 2021

Planning and Zoning Commission
City of Middleton

Re: Comments on Preliminary Plat / Artesian Springs Subdivision

Dear Committee Members:

After reviewing the most recently available preliminary plat with respect to the proposed Artesian Springs Subdivision located at 10348 Hwy 44, we have the following comments and requests pertaining to the proposed new development as it impacts existing Greenlinks homeowners and residents.

1. We strongly desire that the proposed new development have it's own separate entrance to Hwy 44 in order to greatly reduce the amount of traffic using the Greenlinks entrance into our neighborhood. The new subdivision will almost double the number of homes accessing our entrance from 43 to 83. Together with the pending new commercial business development on Augusta Street, which will also access Greenlinks Avenue at this sole entrance, the combined increase in traffic using the entrance will quickly become problematic for our residents. It is already strained by the fact that the existing neighborhoods along Cornell Street are using Greenlinks Avenue as a major connector to Hwy 44.

2. If a separate new entrance to Hwy 44 cannot be provided for the proposed new development, the new Artesian Springs HOA should be required to share in the cost of landscaping and maintenance along the entrance to Greenlinks Avenue up to and including the Mulligan Street traffic circle.

3. In consideration of the existing Greenlinks homeowners living immediately adjacent to the new houses on the proposed new development's western border, and who's backyards will now back directly up to these new houses, we strongly request that the design of the houses on these specific lots be restricted to single story homes so as not to completely destroy the backyard privacy of our existing homeowners who currently live in single story homes. We believe this restriction should only impact 3 to 4 of the new houses in the proposed new development as it currently exists.

We thank the Commission for its consideration of these requests.

Sincerely,

Steve Walker
Board President

November 8, 2021

Planning and Zoning Commission

City of Middleton

Re: Comments on preliminary Plat/ Artesian Springs Subdivision

Dear Committee members:

Comments and concerns we have about the addition of the subdivision and access through Greenlinks Subdivision.

- Adding 40 new residences equals at least 80 vehicle trips per day at the intersection of Augusta and Greenlinks though the roundabout. Knowing (by experience) that roughly 30% of vehicles will not properly use the roundabout causes concern for safety. With the proximity to Hwy 44 and people's natural desire to accelerate (above 25 mph) to that point, there will be accidents.
- Suggest adding speed bumps at the intersection going north and from the east.
- Suggest alternate entrance to Artesian Springs from Hwy 44.
- Make Augusta a cul-de-sac with 3 lots. Move entrance to subdivision through lots 20 and 21.
- Suggest using Augusta as the pathway rather than out to Hwy 44 through current lot 32.
- The proposed new subdivision at the north end of Greenlinks will only make the situation worse. Greenlinks was never designed to provide access to hundreds of residents.
- With added traffic, the access to Hwy 44 increases the probability of accidents. Left turn does not have an adequate turn lane. Right turn has to accelerate to 55 mph only to reduce to 45 in ¼ mile. Suggest reducing Hwy 44 to 45 mph, add adequate turn lanes.

We know the growth and adding subdivisions is inevitable but better planning and coordination of projects would be appreciated.

Looking at the Hwy 44 bi-pass plans, the issue of speed control would not be necessary. But, with the recent talk of abandoning the bi-pass and maintaining the current hwy route, speed control would be necessary. Until there is a FINAL decision on the bi-pass and traffic flow/ access through Middleton, we think it is unwise to add ANY additional stress on the current infrastructure.

Mike and Joan Walker

1537 Fairway St.

Middleton, Idaho

From: Rebecca Martin
To: Jennica Reynolds; Roberta Stewart
Subject: 12/6 meeting letter
Date: Friday, December 3, 2021 12:45:27 PM

We will be unable to attend the meeting. Please read below into record.

My name is Rebecca Martin. My husband and I own the property located at 10346 Highway 44 in Middleton (Parcel A). We have a 30 foot wide easement across Parcel B, which is the proposed Future Artesian Springs subdivision. Our 30 foot wide ingress/egress easement across the property all the way to Highway 44 was recorded on July 22, 1998 (instrument number 9827345). The proposed plat map submitted by Mr. Gross and/or his representatives contain homes on our current recorded easement. We are not in agreement with this proposed plat map.

There was also a license agreement for an 18 foot wide ingress/egress easement on a portion of the property recorded a June 29, 2011 that was terminated in writing by Mr. Gross on September 3, 2021. This license agreement is completely different than our current 30 foot wide ingress/egress easement from July 22, 1998.

I ask that you deny the proposed plat map for the Artesian Springs subdivision at this time until there is an agreement made between owners of Parcel A and Parcel B, or a plat map is provided that does not effect the current recorded easement.

Thank you for your time!

A

98273 45

PC26020

QUITCLAIM DEED

FOR VALUE RECEIVED John P. Hammond and Jean M. Hammond, husband and wife and Doug E. Hammond, a married man who acquired title as a single person

do hereby convey, release, remise and forever quit claim

unto Doug E. Hammond and Mary Ann Hammond, husband and wife

whose address is 16345 Highway 44, Middleton, ID 83644

the following described premises, to-wit:

See attached Exhibit "A", which by this reference is made a part hereof and is comprised of one (1) page.

together with their appurtenances.

Dated: July 14, 1998

John P. Hammond

John P. Hammond

Jean M. Hammond

Jean M. Hammond

Mary E. Hammond

Doug E. Hammond

STATE OF IDHAO

COUNTY OF CANYON

On this 20 day of July in the year 1998, before me, a Notary Public, personally appeared John P. Hammond and Jean M. Hammond and Doug E. Hammond known or identified to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same.

Notary Public
Residing at Caldwell NAMP
My commission expires 2/3/04 12/10/98

KATHANNA MILLER NOTARY PUBLIC STATE OF IDAHO

Back Parcel + Easmt Split 1998

EXHIBIT 2

Form No. 1343 (1982)
Alta Mapin Language Consultants

PC 26020

Exhibit "A"

A parcel of land lying in the Northwest Quarter of the Northeast Quarter of Section 8, Township 4 North, Range 2 West, Boise Meridian, Canyon County, Idaho, more particularly described as follows:

COMMENCING at the Northeast corner, Section 8, Township 4 North, Range 2 West, Boise Meridian, Canyon County, Idaho; thence

North 89° 59' 59" West a distance of 1,333.24 feet along the North line of the Northeast Quarter of Section 8, a point being the Northeast corner of Northwest Quarter of the Northeast Quarter of Section 8, the REAL POINT OF BEGINNING of this description; thence continuing along said North line

North 89° 39' 59" West a distance of 718.24 feet to a point; thence

South 0° 46' 09" West a distance of 453.47 feet to a point; thence

South 89° 39' 59" East a distance of 716.75 feet to a point on the East line of the Northwest Quarter of the Northeast Quarter of Section 8; thence

North 0° 57' 27" East a distance of 453.48 feet along said East line to the REAL POINT OF BEGINNING.

TOGETHER WITH a 30 foot ingress-egress easement more particularly described as follows:

COMMENCING at the Northeast corner, Section 8, Township 4 North, Range 2 West, Boise Meridian, Canyon County, Idaho; thence

North 89° 39' 59" West a distance of 2,051.48 feet to a point; thence

South 0° 46' 09" West a distance of 453.47 feet to the POINT OF BEGINNING of this 30 foot ingress-egress easement; thence

South 0° 46' 05" West a distance of 826.69 feet to a point on the Northerly right-of-way of Highway 44; thence

South 89° 45' 50" East a distance of 30.00 feet along said Northerly right-of-way to a point; thence

North 0° 46' 09" East a distance of 826.64 feet to a point; thence

North 89° 39' 59" West a distance of 30.00 feet to the POINT OF BEGINNING of said easement.

98273415

RECORDED
'98 JUL 22 PM 4.17
NED J KERR
CANYON CNTY RECORDER
BY

REQUEST PIONEER — CALDWELL
TYPE FEE

2

2011025865
RECORDED
2011 Jun 29 PM 2 01
CHRIS YAMAMOTO
CANYON CNTY RECORDER
BY D_Lee
Requestor TitleOne Boise
Type AGREEMENT
Fee $31.00
ELECTRONICALLY RECORDED BY SIMPLIFILE

LICENSE AGREEMENT

This License Agreement ("Agreement") is entered into this 13 day of June 2011, by and between Douglas Hammond and Mary Ann Hammond, husband and wife (collectively, "Licensors"), and Gordon St. Clair and Meredith St. Clair, husband and wife (collectively, "Licensees"). Licensors and Licensees are sometimes referred to herein individually as a "Party" and collectively as the "Parties."

RECITALS:

A. Licensors are the owners of real property located in the City of Middleton, County of Canyon, State of Idaho, more particularly described in Exhibit A attached hereto and incorporated herein by this reference ("Parcel B").

B. Licensees are the owners of real property adjacent to Parcel B and located in the City of Middleton, County of Canyon, State of Idaho, more particularly described in Exhibit B attached hereto and incorporated herein by this reference ("Parcel A").

C. Licensees use a roadway located on Parcel B to access their residence located on Parcel A. The roadway was and is used as a convenience to Licensees and is not necessary to access Parcel A or the residence thereon.

D. Licensees desire to continue to use the roadway and Licensors have agreed to allow such use subject to the terms, conditions and limitations set forth herein.

AGREEMENT

In consideration of the mutual promises made herein, the Parties agree as follows:

1. Subject to the terms, conditions and limitations set forth herein, Licensors hereby authorize Licensees to use the driveway/roadway over that portion of Parcel B described in Exhibit C attached hereto ("License Area") for ingress and egress to obtain vehicle access to Licensees' residence located on Parcel A.

2. Licensors retain all rights to use and possess the License Area not inconsistent with this Agreement.

3. The term of this Agreement shall be from the date hereof and shall continue until terminated by Licensors.

4. This Agreement may only be terminated with thirty (30) days' written notice to Licensees, and provided Licensors shall have first relocated the driveway/roadway as set forth in Exhibit C to the thirty foot (30') easement over and across Parcel B or to some other location over or across Parcel B so that Licensees shall have vehicular access to Idaho State Highway 44.

5. Licensees, as a condition to the license hereunder, agree as follows:

a. Licensees will at all times indemnify and hold harmless Licensors, their agents, tenants, invitees, successors and assigns, against all actions, claims, demands, liabilities, damages, debts, bodily injury and property damage, including all expenses, costs and attorneys' fees which may in any manner be incurred by Licensors as a consequence of, or arising out of any acts or omissions on the part of Licensees, or any of their officers, agents, servants or invitees arising out of or in connection in any way with the use of the License Area;

b. Licensees shall maintain the License Area at all times in an orderly condition, free of trash or other unsightly articles, and will not gate the License Area; and

c. Licensees shall not enlarge or cause any construction to be performed on the License Area without the prior written consent of Licensors.

6. It is expressly agreed and understood by the Parties hereto that this Agreement is for the benefit of Parcel A and all rights hereunder shall pass with the sale or transfer of Parcel A.

7. In the event of any controversy, claim or action being filed or instituted between the Parties to enforce the terms and conditions of this Agreement or arising from the breach of any provision hereof, the prevailing Party will be entitled to receive from the other Party all costs, damages and expenses, including reasonable attorneys' fees, incurred by the prevailing Party, whether or not such controversy or claim is litigated or prosecuted to judgment, including all costs and fees incurred as a result of any appeal. The prevailing Party will be that party who was awarded judgment as a result of trial or arbitration, or who receives a payment of money from the other Party in settlement of claims asserted by that Party.

8. The Recitals set forth above are hereby incorporated into this Agreement and made a part hereof.

STATE OF IDAHO)
) ss.
COUNTY OF CANYON)

On this 13 day of June in the year 2011, before me, Brandy Bonilla, a Notary Public in and for said State, personally appeared Gordon St. Clair, known or identified to me (or proved to me on the oath of Valid ID) to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

S
E
A
L

BRANDY BONILLA
NOTARY
PUBLIC
STATE OF IDAHO

Brandy B
Notary Public for Idaho
My commission expires on 11-3-12

STATE OF IDAHO)
) ss.
COUNTY OF CANYON)

On this 13 day of June in the year 2011, before me, Brandy Bonilla, a Notary Public in and for said State, personally appeared Meredith St. Clair, known or identified to me (or proved to me on the oath of Valid ID) to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

S
E
A
L

BRANDY BONILLA
NOTARY
PUBLIC
STATE OF IDAHO

Brandy B
Notary Public for Idaho
My commission expires on 11-3-12

9. This Agreement shall be governed by the laws of the State of Idaho.

EXECUTED as of the day and year first set forth above.

LICENSORS:	**LICENSEES:**
DOUGLAS HAMMOND	GORDON ST. CLAIR
MARY ANN HAMMOND	MEREDITH ST. CLAIR

PARCEL B

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

A tract of land situated in the Northwest One Quarter of the Northeast One Quarter of Section 8, Township 4 North, Range 2 West, Boise Meridian, Canyon County, Idaho, described as follows:

COMMENCING AT an aluminum cap monumenting the Northeast Corner of said Section 8; thence following the Northerly line of said Section 8
North 89° 39' 59" West a distance of 1,333.24 feet to a point being the East One Sixteenth Corner common to Section 8 and Section 5; thence leaving said Northerly line and following the Easterly line of said Northwest Quarter of the Northeast Quarter
South 00° 57' 27" West a distance of 463.56 feet to the POINT OF BEGINNING; thence following the Easterly line of said Northwest Quarter of the Northeast Quarter
South 00° 57' 27" West a distance of 826.51 feet to a point on the Northerly right-of-way line of State Highway 44; thence following said Northerly right-of-way line
North 89° 45' 50" West a distance of 714.04 feet to a point; thence leaving said Northerly right-of-way
North 00° 46' 09" East a distance of 828.09 feet to a point; thence
South 89° 39' 59" East a distance of 716.74 feet to the POINT OF BEGINNING.

EXHIBIT
A

PARCEL A

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

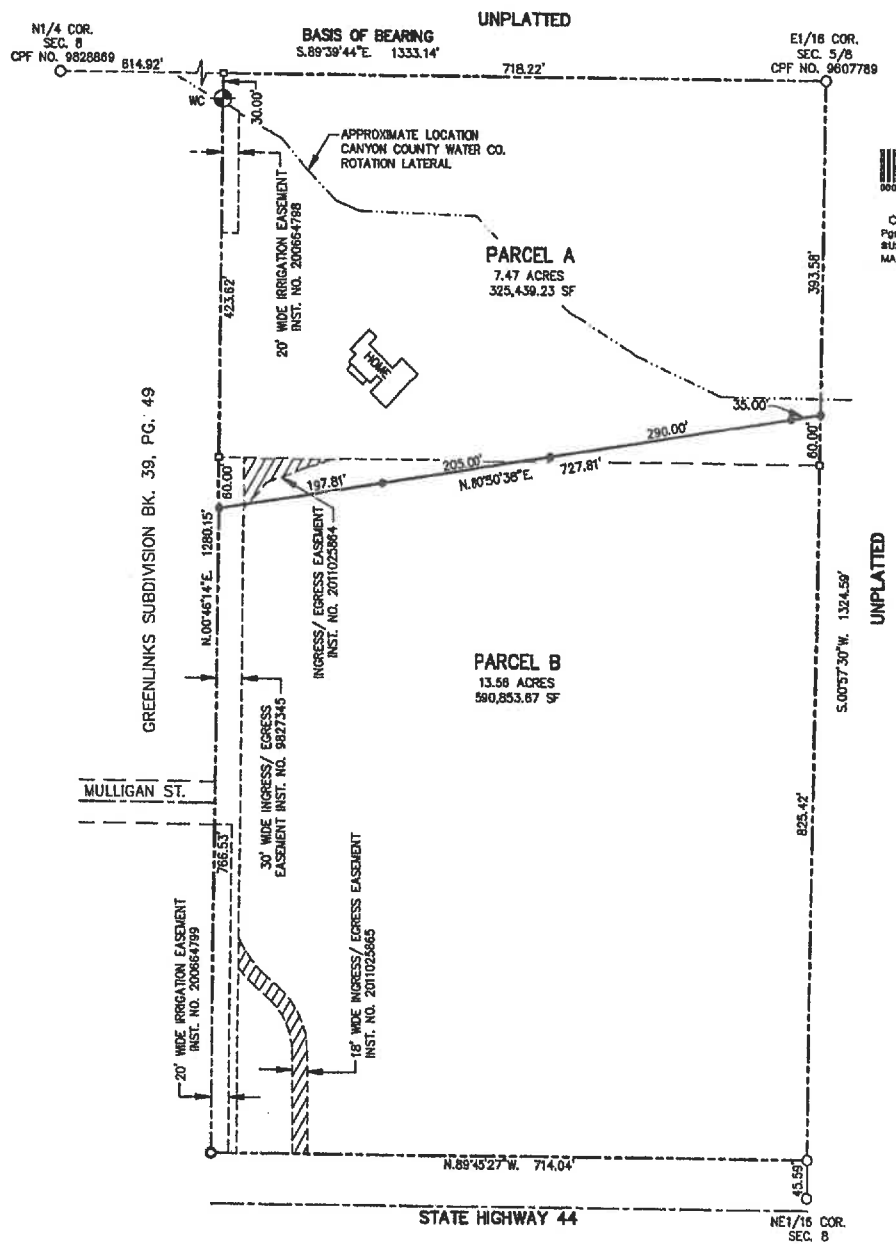
A tract of land situated in the Northwest One Quarter of the Northeast One Quarter of Section 8, Township 4 North, Range 2 West, Boise Meridian, Canyon County, Idaho, described as follows:

COMMENCING AT an aluminum cap monumenting the Northeast Corner of said Section 8; thence following the Northerly line of said Section 8;
North 89° 39' 59" West a distance of 1,333.24 feet to a point being the East One Sixteenth Corner common to Section 8 and Section 5 and the POINT OF BEGINNING; thence leaving said Northerly line and following the Easterly line of said Northwest Quarter of the Northeast Quarter
South 00° 57' 27" West a distance of 453.58 feet to a point; thence leaving said Easterly line
North 89° 39' 59" West a distance of 716.74 feet to a point; thence
North 00° 46' 09" East a distance of 453.47 feet to a point on the Northerly line of said Section 8 from which a 1/2 inch steel pin witness corner bears South 00° 46' 09" West a distance of 29.98 feet; thence following said Northerly line
South 89° 39' 59" East a distance of 716.24 feet to the POINT OF BEGINNING.

EXHIBIT
B

PROPERTY LINE ADJUSTMENT
FOR
GORDON & MEREDITH ST. CLAIR
AND
DOUG & MARY ANN HAMMOND

PARCELS OF LAND LYING IN A PORTION OF THE NW 1/4 NE1/4 OF SECTION 8, T.4N., R.2W., BOISE MERIDIAN, CITY OF MIDDLETON, CANYON COUNTY, IDAHO
2013



2013-014768
RECORDED
04/04/2013 04:47 PM
CHRIS YAMAMOTO
CANYON COUNTY RECORDER
Pgs=1 RECORD1 $5.00
SURVEY
MARKS LAND SURVEYING

CERTIFICATE OF SURVEYOR

THIS IS TO CERTIFY THAT I, COLLEEN MARKS, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF IDAHO, HEREBY ATTEST THAT THIS IS AN ACCURATE REPRESENTATION OF SURVEY AS MADE BY ME AND IS IN CONFORMITY WITH THE CORNER PERPETUATION AND FILING ACT – IDAHO CODE 55-1601 THROUGH 55-1613.

Colleen Marks
COLLEEN MARKS, L.S. 7045

PROFESSIONAL LAND SURVEYOR REGISTERED 7045 4-2-13 STATE OF IDAHO COLLEEN MARKS

NOTES:

1. REFERENCE IS MADE TO THE FOLLOWING RECORD OF SURVEY INST. NOS.: 8723151, 9802167, 9931328, 2007081800, AND 2011028780, RECORDS OF CANYON COUNTY, IDAHO.
2. REFERENCE IS MADE TO THE FOLLOWING SUBDIVISION PLATS: PARK PLACE SUBDIVISION NO. 3, BOOK 27, PAGE 35; GREENLINKS SUBDIVISION, BOOK 39, PAGE 49, RECORDS OF CANYON COUNTY, IDAHO.
3. THE CURRENT ZONING FOR PARCELS A AND B ARE R-4 COMBINED RESIDENTIAL.
4. ALL PINS ALONG THE ORIGINAL SOUTH BOUNDARY LINE HAVE BEEN REMOVED TO AVOID CONFUSION WITH THE ADJUSTED BOUNDARY LINE MONUMENTS AS SHOWN HEREON.
5. THE CANYON COUNTY WATER COMPANY CLAIMS A 20' WIDE IRRIGATION EASEMENT ADJACENT TO AND PARALLEL WITH THE EXISTING TOP OF BANK ON EACH SIDE OF THE ROTATION LATERAL SHOWN HEREON.

LEGEND

- PROPERTY BOUNDARY
- ADJUSTED PROPERTY LINE
- ORIGINAL PROPERTY LINE
- CENTERLINE
- EXISTING EASEMENT LINE
- WC FOUND WITNESS CORNER BRASS CAP MONUMENT
- FOUND 5/8" IRON PIN
- SET 1/2" IRON PIN W/ CAP MARKED LS 7045
- POINT ON LINE – SET 1/2" IRON PIN W/ CAP MARKED LS 7045
- CALC. POINT

100 0 50 100 200
SCALE IN FEET

INDEX NO. 424-08-140-000

MARKS LAND SURVEYING, INC
COLLEEN MARKS, L.S. 7045
5300 HILL ROAD
BOISE, IDAHO 83703
PH: (208) 378-7703 FX: 378-7759

DATE: 04/01/13 | DRAWN BY: SMS | FILE: CLAIR ROS.dwg

EXHIBIT “D”

Agency Comments

From:	Roberta Stewart
To:	Betha Secretary
Cc:	Amy Woodruff; Jennica Reynolds
Subject:	RE: Canyon County Water Company
Date:	Tuesday, November 30, 2021 9:30:09 AM
Attachments:	image001.png

Hi Betha: thank you for the heads up on Mr. Gross' irrigation efforts on Artesian Springs subdivision.

Roberta L. Stewart

PLANNER
City of Middleton, Planning & Zoning
1103 W. Main St.
P.O. Box 487
Middleton, ID 83644

Tele - (208) 585-3133
Fax – (208) 585-9601
rstewart@middletoncity.com

www.middleton.id.gov

From: Betha Secretary <irr.water.3@gmail.com>
Sent: Monday, November 29, 2021 3:55 PM
To: Roberta Stewart <rstewart@middletoncity.com>
Subject: Canyon County Water Company

Middleton City Hall

To Roberta Stewart,

Mr. Gross met with Canyon County Water Company Board discussing piping the ditch in front of his property on Hwy 44. It was tentatively agreed by all parties to approve his plan to pipe his ditch, after he gets the required license agreement.
Thank you,

Betha Foster, Secretary
Canyon County Water Company

P O Box 11
Star, Idaho 83669
Phone 208/455-1735

STAFF REVIEW AND REPORT
Middleton Planning and Zoning Commission

Artesian Springs Subdivision 2nd Emergency Access Continued from Preliminary Plat Application

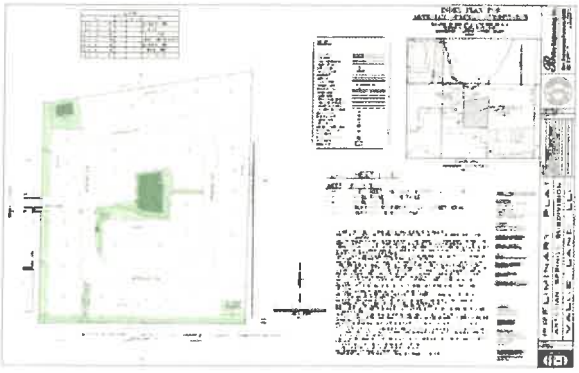
Snapshot Summary

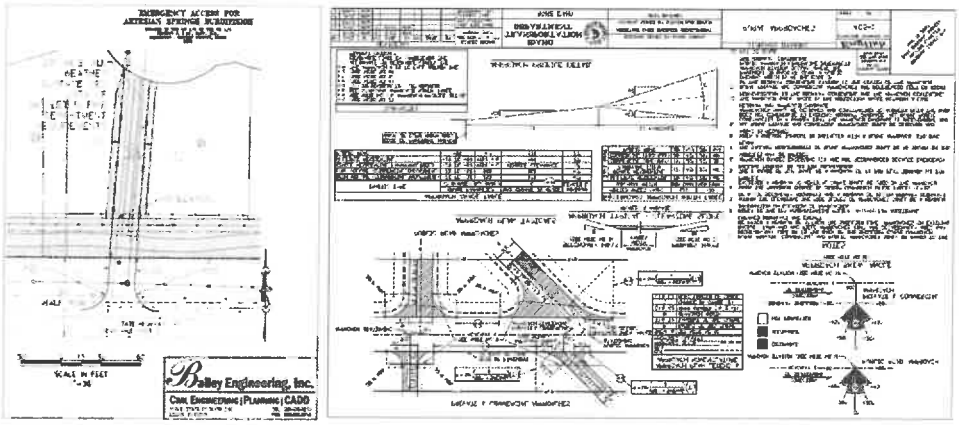
A. Planning & Zoning Commission Hearing Date: January 10, 2021

B. Project Description: Residential subdivision with 40 buildable lots and 7 common lots on 13.56 acres of vacant land zoned R-3 (Single Family Residential) located at 10348 Hwy 44 (Tax Parcel No. R33916)

C. Applicant Request: Preliminary Plat (Full Staff Report presented at 12/3/2021 Public Hearing attached as Exhibit 1)

C. Traffic, Access & Streets:
Applicant was asked by P&Z Commission and MRFD to create a 2nd Emergency Access to bring the plat up to International Fire Standards which requires a 2nd access after 30 lots. As a condition of approval, the Applicant will be required to obtain a permit from ITD for 2nd access onto SH44 prior to final plat approval. The revised Preliminary Plat showing the 2nd Access is attached as Exhibit 2. ITD access requirements attached as Exhibit "A".





FINDINGS:

Planning Staff finds that the 2nd Emergency access is in conformance with MCC 5-4-10-2K, MRFD and ITD requirements. This access will not adversely affect the City's ability to deliver services.

D. **Comments from City Engineer and Planning Staff:** City Engineer comment attached as Exhibit "B" and Planning Staff comments attached to full staff report presented 12/6/2021.

E. **Agencies Comments:** Middleton Rural Fire District Chief Islas' comments attached as Exhibit "C".

F. **Applicant Information:** Application was received and accepted on June 29, 2021. The Applicant/Owner Aaron Gross, Value Land, LLC. 1015 Victoria Drive, Fruitland, ID 83619. Representative Jarom Wagoner, JP Wagoner Planning. 11846 Linden Road, Caldwell, ID 83605.

G.

Notices:	**Dates:**
Neighborhood Meeting	6/17/2021
Newspaper Notification	10/24/2021
Radius notification mailed to Adjacent landowners within 300'	10/22/2021
Circulation to Agencies	10/22/2021
Sign Posting property	10/22/2021

Planning staff finds that notice was given in compliance with Idaho State Law and Middleton City Code.

H. Applicable Codes and Standards:

Idaho Code Secs., 67-6503, 67-6509, 67-6511, 67-6513, 50-1301 through 50-1329.
Idaho Standards for Public Works Construction, the Middleton Supplement to the Idaho Standards for Public Works Construction.
Middleton City Code 1-14, 1-15, 5-1, 5-3, and 5-4.

T. Conclusions and Recommended Conditions of Approval:

The Planning & Zoning Commission is tasked with considering one application for Preliminary Plat and making a recommendation to City Council for approval or denial of the application.

Per State Law and the Middleton City Code, any recommendation must be based upon General Facts and Conclusions of Law.

As to General Facts, Planning Staff has set forth general facts as stated above and in the 12/3/2021 Staff Report (Exhibit 1). If the Commission agrees with those general facts and agrees with the testimony and evidence presented at the public hearing, the Commission needs to make a motion to accept the general of facts set forth in the staff report and public hearing.

As to Conclusions of Law, Planning Staff finds that the Planning & Zoning Commission has the authority to hear this application and to recommend approval or denial of this application. Additionally, Planning Staff notes that all public notice requirements were met. Planning Staff further set forth the portions of the Idaho State Code and Middleton Code to be considered in making a recommendation on the applications. If the public hearing is held and conducted in compliance with Idaho State Statute and the Middleton City Code, then the Commission may accept these conclusions of law by passing a motion to accept the conclusions of law set forth in the staff report and public hearing.

If the Commission is inclined to recommend approval of the Preliminary Plat application based upon the above *General Facts and Conclusions of Law, set forth in this report and in the previously presented 12/3/2021 Staff Report (Exhibit 1)* then Planning Staff recommends that any approval be subject to the following conditions:

1. City of Middleton municipal domestic water, fire flow and sanitary sewer services are to be extended to serve the subdivision.
2. Owner/Developer shall construct, at its own cost, all frontage improvements of SH44.
3. Owner/Developer to pay all City required proportionate share traffic fees.
4. All City Engineer review comments are to be completed and approved.
5. All requirements of the Middleton Rural Fire District approved by the City are to be completed and approved. 2nd Emergency Access to be shown on the preliminary plat.

6. Developer must show on the preliminary plat the easement that was created by Quit Claim (Instrument #9827345).
7. License agreement granting access over irrigation easement connecting Mulligan Street to Artesian Ave must be recorded prior to final plat approval.
8. Applicant to obtain a permit from ITD for 2nd access onto SH44 prior to final plat approval.
9. Sewer and water capacity to be reserved at the time the City approves the construction drawings for the project.

Finally, if the Commission denies the application, pursuant to Middleton City Code 1-14(E)(8), the Commission must state on the record what Applicant can do, if anything, to gain approval of the application.

Prepared by Planning Deputy Clerk, Jennica Reynolds Dated: 1/6/2022

EXHIBIT "1"

See previously attached:

Staff Report presented to Planning & Zoning Commission. 12/6/2021

Exhibit “2”

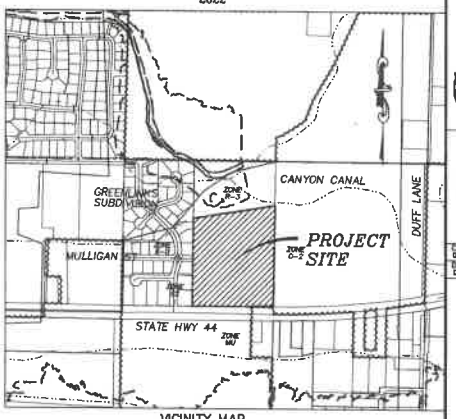
INDEX PLAN FOR ARTESIAN SPRINGS SUBDIVISION

LOCATED IN THE NW 1/4 OF THE NE 1/4
SECTION 6, T.4N., R.2W., B.M.,
MIDDLETON , CANYON COUNTY, IDAHO
2022

Parcel Table			
Lot	Area	Perimeter	Type
BLOCK 1 Lot 1 OPEN	9799	714	EASEMENT BUFFER
BLOCK 1 Lot 2 OPEN	10076	403	DRAINAGE
BLOCK 2 Lot 15 OPEN	4499	277	PI PUMP STATION
BLOCK 2 Lot 22 OPEN	3223	276	SEWER WATER EASEMENT
BLOCK 2 Lot 27 OPEN	10872	785	EASEMENT BUFFER
BLOCK 2 Lot 28 OPEN	21417	1488	ARTERIAL BUFFER
BLOCK 3 Lot 8 OPEN	35243	1313	PARK/DRAINAGE

LEGEND

BOUNDARY
LOT LINES
ROAD CENTERLINE
RIGHT OF WAY
LOT NUMBER
BLOCK NUMBER
EASEMENT
SETBACK
CURB GUTTER & SW
STREET NAME
HANDICAP RAMP
SEWER LINE
WATER LINE
STORM DRAIN LINE
PRESSURE IRRIGATION
GRAVITY IRRIGATION
100 YEAR FLOODPLAIN
FLOW ARROW
FIRE HYDRANT
CATCH BASIN
STOP SIGN
EXISTING WATER WELL
FOUND ALUM. CAP
MONUMENT
FOUND BRASS CAP
MONUMENT
INFILL LOTS



VICINITY MAP
HAMMOND SUBDIVISION
1"=500'

PLAN SHEET INDEX

SHEET	DESCRIPTION
PP-1	COVER SHEET, PRE PLAT, VICINITY MAP & NOTES
PP-2	PARCEL TABLE, CURVE TABLE
PP-3	PARCEL SURVEY
PP-4	PRELIMINARY ENGINEERING PLAN STREET DETAILS
PP-5	PRELIMINARY SEWER PROFILES

1. MIDDLETON CITY WATER AND SEWER SERVICE SHALL BE EXTENDED TO ALL LOTS.
2. THE SUBJECT PROPERTY DOES NOT FALL WITHIN ANY FEMA FLOOD HAZARD ZONE. REFERENCE FIRM PANEL 16027C0253G EFFECTIVE 06/07/2019.
3. ALL LOTS SHALL HAVE A PERMANENT EASEMENT FOR PUBLIC UTILITIES, AND STREET LIGHTS OVER THE 10 (TEN) FEET ADJACENT TO ANY PUBLIC STREET. ALL LOTS SHALL HAVE A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE OVER THE 10 (TEN) FEET ADJACENT TO THE REAR LOT LINE. EXCEPT AS OTHERWISE SHOWN, THERE SHALL BE A 5 (FIVE) FOOT PUBLIC UTILTY, IRRIGATION AND LOT DRAINAGE EASEMENT ADJACENT TO ANY SIDE LOT LINE.
4. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF THE CITY OF MIDDLETON AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT.
5. THE DEVELOPER AND/OR OWNER SHALL COMPLY WITH IDAHO CODE SECTION 31-3805 CONCERNING IRRIGATION WATER. THE DEVELOPER SHALL PROVIDE PRESSURIZED IRRIGATION WATER TO EACH LOT. ALL LOTS IN THIS SUBDIVISION WILL BE SUBJECT TO ASSESSMENTS OF THE CANYON COUNTY WATER COMPANY LTD. PRESSURIZED IRRIGATION WILL BE SUPPLIED BY A PRESSURE IRRIGATION PUMP STATION AND SERVICE LINES LOCATED ALONG THE REAR LOT LINES. THE SYSTEM IS TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
6. STORM DRAINAGE SHALL BE RETAINED ON SITE THROUGH RENTENTION SWALES AS SHOWN.
7. ALL COMMON LOTS AS SHOWN ARE TO BE OWNED AND MAINTAINED BY THE SUBDIVISION HOMEOWNERS ASSOCIATION OR IT'S ASSIGNS.
8. ALL EXISTING STRUCTURES WILL BE REMOVED PRIOR TO DEVELOPMENT OF THE PHASE CONTAINING THE STRUCTURE.
9. SUBDIVISION PERIMETER TO BE FENCED PER APPROVED FENCING PLAN
10. ALL STREETS PROPOSED IN THIS DEVELOPMENT ARE PUBLIC STREETS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MIDDLETON STANDARDS.
11. ALL EXISTING WELLS SHALL BE ABANDONED PER IDWR REGULATIONS. ALL SEPTIC SYSTEMS SHALL BE COMPLETELY REMOVED AND THE AREA RECOMPACTED PER GEOTECHNICAL REPORT.
12. FIRE PROTECTION WATER SHALL BE PROVIDED BY THE CITY OF MIDDLETON.
13. FIBER OPTIC TO BE PROVIDED TO EACH LOT DURING JOINT TRENCH CONSTRUCTION PER THE CITY OF MIDDLETON SUPPLEMENT TO THE IDPWC.
14. SEWER AND WATER CAPACITY SHALL BE RESERVED WHEN CITY APPROVES CONSTRUCTION DRAWINGS.
15. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
16. ALL LOTS ARE RESIDENTIAL BUILDING LOTS EXCEPT LOTS 1 & 2 BLOCK 1, AND LOT 15, 22 & 27 BLOCK 2 AND LOT 8 BLOCK 3.
17. COMMON LOTS: LOT 1 BLOCK 1 - EASEMENT BUFFER, LOT 2 BLOCK 1 DRAINAGE, LOT 15 BLOCK 2- IRRIGATION PUMP STATION (HOA), LOT 22 BLOCK 2- SEWER WATER EASEMENT, LOT 27 BLOCK 2- EASEMENT BUFFER, LOT 8 BLOCK 3- PARK DRAINAGE (HOA).
18. MAILBOX CLUSTER SHALL BE CONSTRUCTED IN LOT 6 BLOCK 3 WEST SIDE JUST SOUTH OF MULLIGAN/ARTESIAN INTERSECTION
19. PROJECT TO BE CONSTRUCTED IN ONE PHASE OF CONSTRUCTION.
20. VACATION OF EXISTING INGRESS/EGRESS EASEMENT PER INST. NO. 2021-073879
21. ALL CENTERLINE RADI SHALL BE GREATER THAN 90'
22. STREET LIGHTS ALONG STATE HIGHWAY 44 SHALL BE INSTALLED AS REQUIRED

60 0 30 60 120
SCALE IN FEET
1"=60'

DEVELOPMENT FEATURES

ACREAGE
TOTAL PARCEL - 13.54 ACRES
TOTAL LOTS - 47
BUILDABLE LOTS - 40
COMMON LOTS - 7
COMMON LOT AREA = 2.0ac. 14.7%
DENSITY DU/ACRE - 2.95

ZONING
EXISTING - MIDDLETON R-3
PROPOSED - MIDDLETON R-3

SEWAGE DISPOSAL
MIDDLETON CITY SEWER

WATER SUPPLY
MIDDLETON CITY WATER

CITY
MIDDLETON CITY IMPACT AREA

SCHOOL DISTRICT
MIDDLETON

FIRE DISTRICT
MIDDLETON

IRRIGATION DISTRICT
CANYON WATER COMPANY LTD

OWNER
VALUE LAND LLC
1015 VICTORIA AVE
FRUITLAND ID 83619

DEVELOPER
AARON GROSS

ENGINEER
DAVID A. BAILEY, P.E.
BAILEY ENGINEERING, INC.
1119 E. STATE ST, SUITE 210
EAGLE, ID 83616
208 938-0013

PLANNER/CONTACT
JARNOW WAGONER, AICP
JP WAGONER PLANNING
208-761-2914

Bailey Engineering, Inc.
CIVIL ENGINEERING | PLANNING | CADD
6247 N. MOOSEJAW LANE
BOISE, ID 83714
TEL: 208-938-0013
www.baileyengineers.com

PROFESSIONAL ENGINEER REGISTERED 16250 STATE OF IDAHO DAVID A. BAILEY

CHECKED BY: DAVID A. BAILEY P.E.
DRAWN BY: DAP

REVISED		
NO.	DATE	DESCRIPTION
1	2021-11-03	REDIP AS PLANNED COMMUNITY
2	2021-11-13	RE EASEMENT EAST BOUNDARY
3	2022-01-05	ADD NORTH SIDE STREET

PRELIMINARY PLAT
ARTESIAN SPRINGS SUBDIVISION
VALUE LAND LLC

DATE: 01-06-2022
PROJECT: 2021-009
SHEET: PP-1

TABLES FOR
ARTESIAN SPRINGS SUBDIVISION

LOCATED IN THE NW 1/4 OF THE NE 1/4
SECTION 8, T.4N., R.2W., B.M.,
MIDDLETON , CANYON COUNTY, IDAHO
2022

Parcel Table			
Lot	Area	Perimeter	Type
BLOCK 1 Lot 3	8405	370	SFR
BLOCK 1 Lot 4	8250	370	SFR
BLOCK 1 Lot 5	8702	372	SFR
BLOCK 2 Lot 1	9919	394	SFR
BLOCK 2 Lot 2	8250	370	SFR
BLOCK 2 Lot 3	8250	370	SFR
BLOCK 2 Lot 4	8583	386	SFR
BLOCK 2 Lot 5	9660	416	SFR
BLOCK 2 Lot 6	19385	552	SFR
BLOCK 2 Lot 7	10265	435	SFR
BLOCK 2 Lot 8	8707	385	SFR
BLOCK 2 Lot 9	8250	370	SFR
BLOCK 2 Lot 10	8250	370	SFR
BLOCK 2 Lot 11	8250	370	SFR
BLOCK 2 Lot 12	8252	370	SFR
BLOCK 2 Lot 13	8514	370	SFR
BLOCK 2 Lot 14	11662	449	SFR
BLOCK 2 Lot 16	8406	373	SFR
BLOCK 2 Lot 17	8463	370	SFR
BLOCK 2 Lot 18	8259	371	SFR
BLOCK 2 Lot 19	8250	370	SFR
BLOCK 2 Lot 20	8322	376	SFR
BLOCK 2 Lot 21	8292	374	SFR
BLOCK 2 Lot 23	14309	476	SFR
BLOCK 2 Lot 24	9234	407	SFR
BLOCK 2 Lot 25	8439	380	SFR
BLOCK 2 Lot 26	8714	372	SFR
BLOCK 3 Lot 1	10041	420	SFR
BLOCK 3 Lot 2	9776	410	SFR
BLOCK 3 Lot 3	8759	381	SFR
BLOCK 3 Lot 4	9750	410	SFR
BLOCK 3 Lot 5	9749	410	SFR
BLOCK 3 Lot 6	9859	395	SFR
BLOCK 3 Lot 7	9146	387	SFR
BLOCK 3 Lot 9	8250	370	SFR
BLOCK 3 Lot 10	8326	371	SFR
BLOCK 3 Lot 11	9941	397	SFR
BLOCK 3 Lot 12	12772	491	SFR
BLOCK 3 Lot 13	12750	490	SFR
BLOCK 3 Lot 14	12124	459	SFR

Parcel Table			
Lot	Area	Perimeter	Type
BLOCK 1 Lot 1 OPEN	9799	714	EASEMENT BUFFER
BLOCK 1 Lot 2 OPEN	10076	403	DRAINAGE
BLOCK 2 Lot 15 OPEN	4499	277	PI PUMP STATION
BLOCK 2 Lot 22 OPEN	3223	276	SEWER WATER EASEMENT
BLOCK 2 Lot 27 OPEN	10872	785	EASEMENT BUFFER
BLOCK 2 Lot 28 OPEN	21417	1488	ARTERIAL BUFFER
BLOCK 3 Lot 8 OPEN	35243	1313	PARK/DRAINAGE

Curve Table					
Curve #	Radius	Length	Chord	Bearing	Delta
C1	125.00	108.21	105.77	S24°04'13"E	50°03'26"
C2	125.00	98.75	96.20	N67°07'32"W	45°15'51"
C3	125.00	97.38	94.95	S23°16'46"W	44°38'32"
C4	125.00	97.38	94.95	S67°55'17"W	44°38'31"
C5	125.00	98.75	96.20	N21°31'41"W	45°15'51"
C6	125.00	19.23	19.21	N03°36'11"W	8°48'31"
C7	125.00	2.43	2.43	N08°35'56"W	1°06'45"
C8	125.00	109.21	105.77	S74°07'38"E	50°03'26"
C9	100.00	17.33	17.30	N04°11'34"W	9°55'38"
C21	150.00	53.47	53.19	N06°26'29"W	20°25'27"
C22	150.00	65.86	65.43	S86°33'34"E	25°11'36"
C23	55.00	56.04	53.38	N89°06'12"E	50°27'53"
C24	55.00	53.67	51.56	S83°42'40"E	56°54'23"
C25	55.00	84.98	81.26	S06°05'12"W	87°41'20"
C26	150.00	65.23	64.72	S11°46'37"E	24°54'57"
C27	150.00	0.73	0.73	S00°46'11"W	0°16'38"
C28	150.00	11.12	11.12	S03°04'58"W	4°14'56"
C29	150.00	41.04	40.91	S13°32'41"W	15°40'29"
C30	55.00	24.11	23.92	S25°36'08"E	25°07'05"
C31	55.00	48.90	47.30	S12°31'37"W	50°56'20"
C32	55.00	54.34	52.10	S66°18'00"W	56°36'26"
C33	55.00	33.27	32.78	N69°04'03"W	34°39'28"
C34	150.00	31.95	31.89	S76°25'18"W	12°12'21"
C35	150.00	20.21	20.19	S86°23'01"W	7°43'05"
C36	150.00	40.57	40.45	N82°00'32"W	15°29'00"
C37	150.00	12.80	12.89	N71°47'46"W	4°55'37"
C38	55.00	48.78	47.19	S74°06'33"W	50°48'43"
C39	55.00	28.98	28.71	N68°26'56"W	29°06'13"
C40	55.00	30.38	30.00	N38°34'17"W	31°38'12"
C41	55.00	60.54	57.53	N10°47'27"E	63°04'17"
C42	100.00	155.85	147.46	N48°33'11"W	89°31'23"
C43	100.00	8.89	8.88	S53°23'23"W	5°06'29"
C52	100.00	80.32	78.18	S32°14'25"E	46°01'18"
C53	100.00	77.88	75.74	S67°30'15"E	44°30'23"
C56	100.00	155.63	140.84	N45°39'02"E	89°17'03"

Bailey Engineering, Inc.
CIVIL ENGINEERING | PLANNING | CADD
12474 N. WOODSIDE LANE
BOISE, ID 83714
TEL. 208-938-0013
www.baileyengineers.com

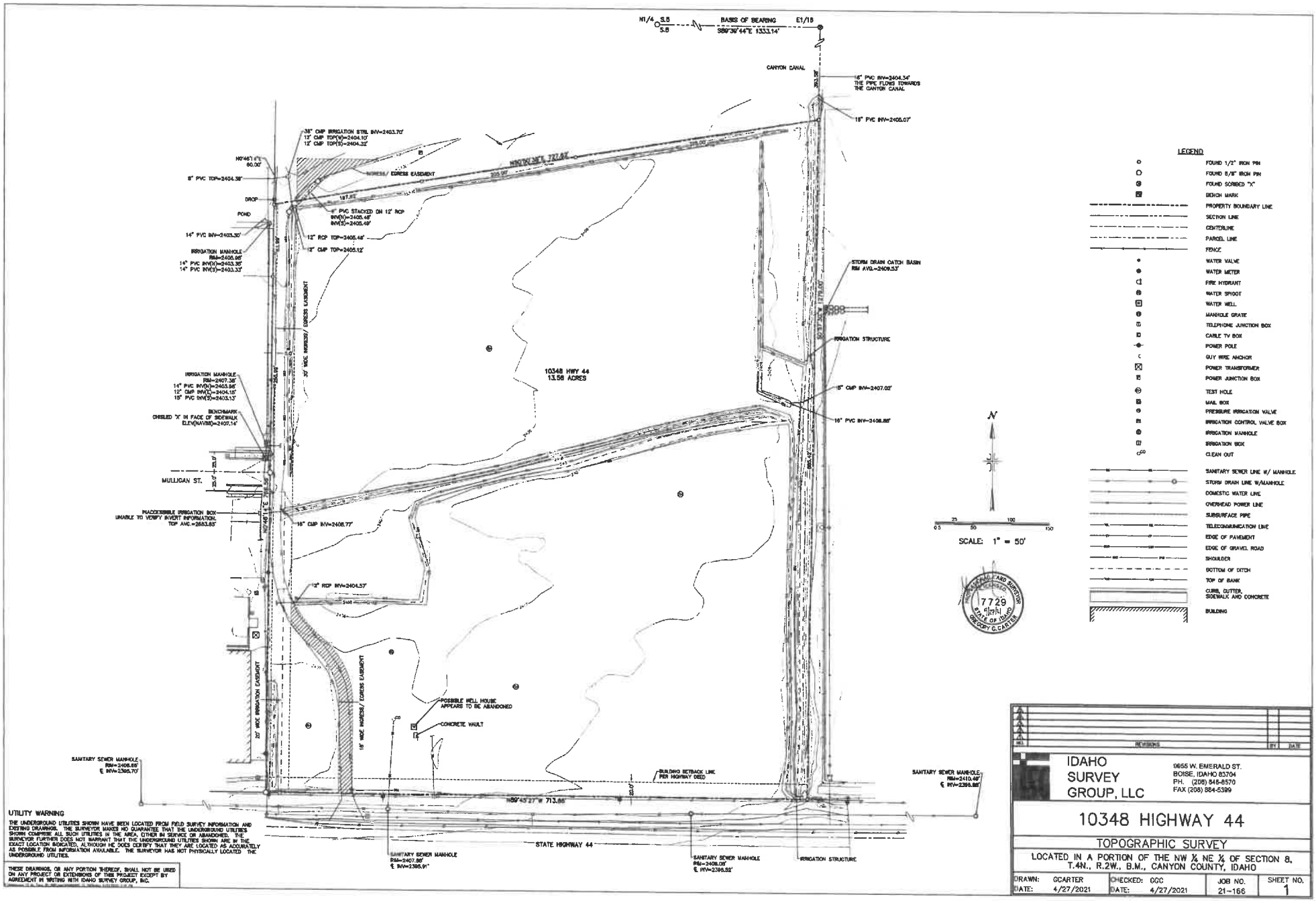
PROFESSIONAL ENGINEER REGISTERED 8272 STATE OF IDAHO DAVID A. BAILEY

CHECKED BY: DAVID A. BAILEY P.E.
DRAWN BY:

REVISED
NO. DATE DESCRIPTION
2022-01-11 ADD SHEET PP-2 STREET

TABLES
ARTESIAN SPRINGS SUBDIVISION
VALUE LAND LLC

DATE: 01-06-2022
PROJECT: 22021-009
SHEET PP-2



UTILITY WARNING

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH IDAHO SURVEY GROUP, INC.

NO.	REVISIONS	BY	DATE
1			
2			
3			
4			
5			

IDAHO SURVEY GROUP, LLC
9655 W. EMERALD ST.
BOISE, IDAHO 83704
PH. (208) 545-8570
FAX (208) 884-5399

10348 HIGHWAY 44

TOPOGRAPHIC SURVEY

LOCATED IN A PORTION OF THE NW ¼ NE ¼ OF SECTION 8, T.4N., R.2W., B.M., CANYON COUNTY, IDAHO

DRAWN: GCARTER	CHECKED: GGC	JOB NO.	SHEET NO.
DATE: 4/27/2021	DATE: 4/27/2021	21-166	1

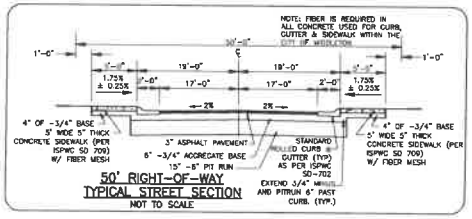
PRELIMINARY ENGINEERING FOR ARTESIAN SPRINGS SUBDIVISION

LOCATED IN THE NW 1/4 OF THE NE 1/4
SECTION 8, T.4N., R.2W., B.M.,
MIDDLETON , CANYON COUNTY, IDAHO
2022

60 0 30 60 120
SCALE IN FEET
1"=60'

LEGEND

BOUNDARY	
LOT LINES	
ROAD CENTERLINE	
RIGHT OF WAY	
LOT NUMBER	1
BLOCK NUMBER	BLOCK 7
EASEMENT	
SETBACK	
CURB GUTTER & SW	
STREET NAME	W. ASHTON DR.
HANDICAP RAMP	
SEWER LINE	
WATER LINE	
STORM DRAIN LINE	
PRESSURE IRRIGATION	
GRAVITY IRRIGATION	
FLOW ARROW	
FIRE HYDRANT	
CATCH BASIN	
STOP SIGN	
EXISTING WATER WELL	
FOUND ALUM. CAP	
MONUMENT	
FOUND BRASS CAP	
MONUMENT	
INFILL LOTS	



50' RIGHT-OF-WAY
TYPICAL STREET SECTION
NOT TO SCALE

Bailey Engineering, Inc.
CIVIL ENGINEERING | PLANNING | CADD
1115 E. STATE STREET SUITE 210
EAGLE, ID 83616
TEL: 208-938-0013
www.baileyengineering.com

PROFESSIONAL ENGINEER REGISTERED N8259R STATE OF IDAHO DAVID A BAILEY

CHECKED BY: DAVID A. BAILEY P.E.
DRAWN BY: DAB/DES

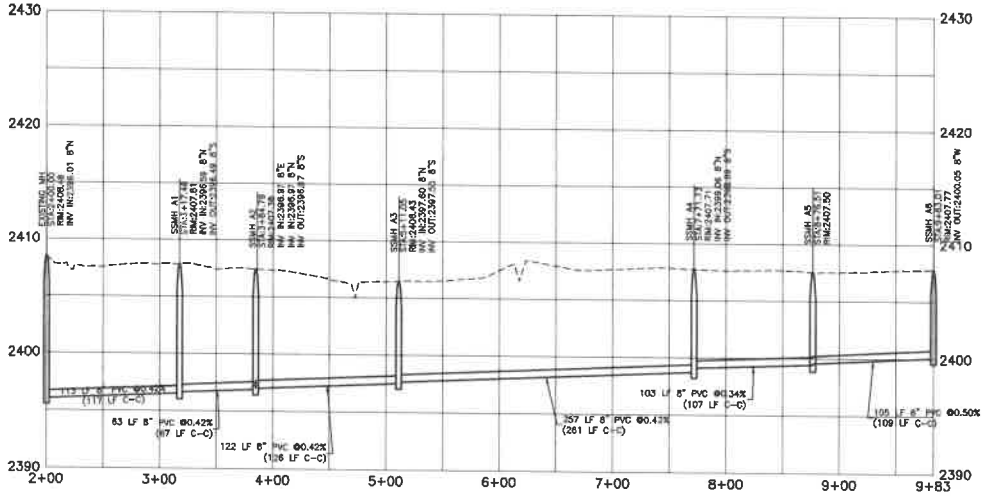
REVISED

NO	DATE	REASON FOR REVISION
1	2021-11-02	CITY & PLANNER COMMENTS
2	2021-12-01	ADD NORTH STUB STREET

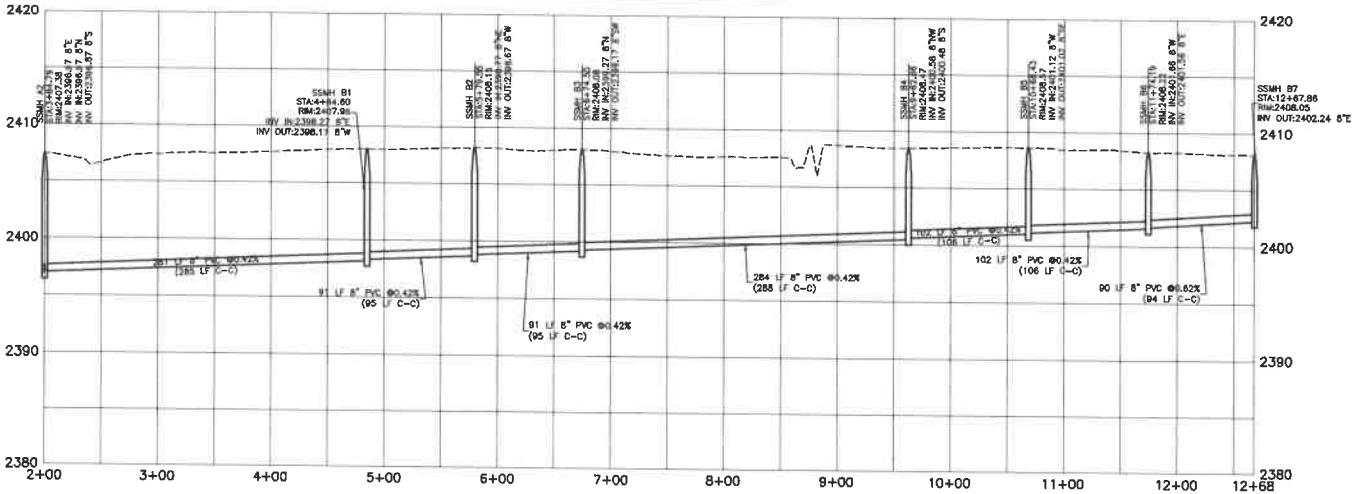
PRELIMINARY ENGINEERING
ARTESIAN SPRINGS SUBDIVISION
VALUE LAND LLC

DATE: 01-06-2022
PROJECT: C2021-08
SHEET PP-4

SEWER LINE A PROFILE



SEWER LINE B PROFILE



50 0 25 50 100
SCALE IN FEET
1"=50'

Bailey Engineering, Inc.
CIVIL ENGINEERING | PLANNING | CADD
1118 E. STATE STREET, SUITE 210
EAGLE ID 83616
TEL: 208-938-0013
www.baileyengineer.com

PROFESSIONAL ENGINEER REGISTERED 8572 STATE OF IDAHO DAVID A. BAILEY

CHECKED BY: DAVID A. BAILEY P.E.
DRAWN BY:
DATE/YRS

REVISED

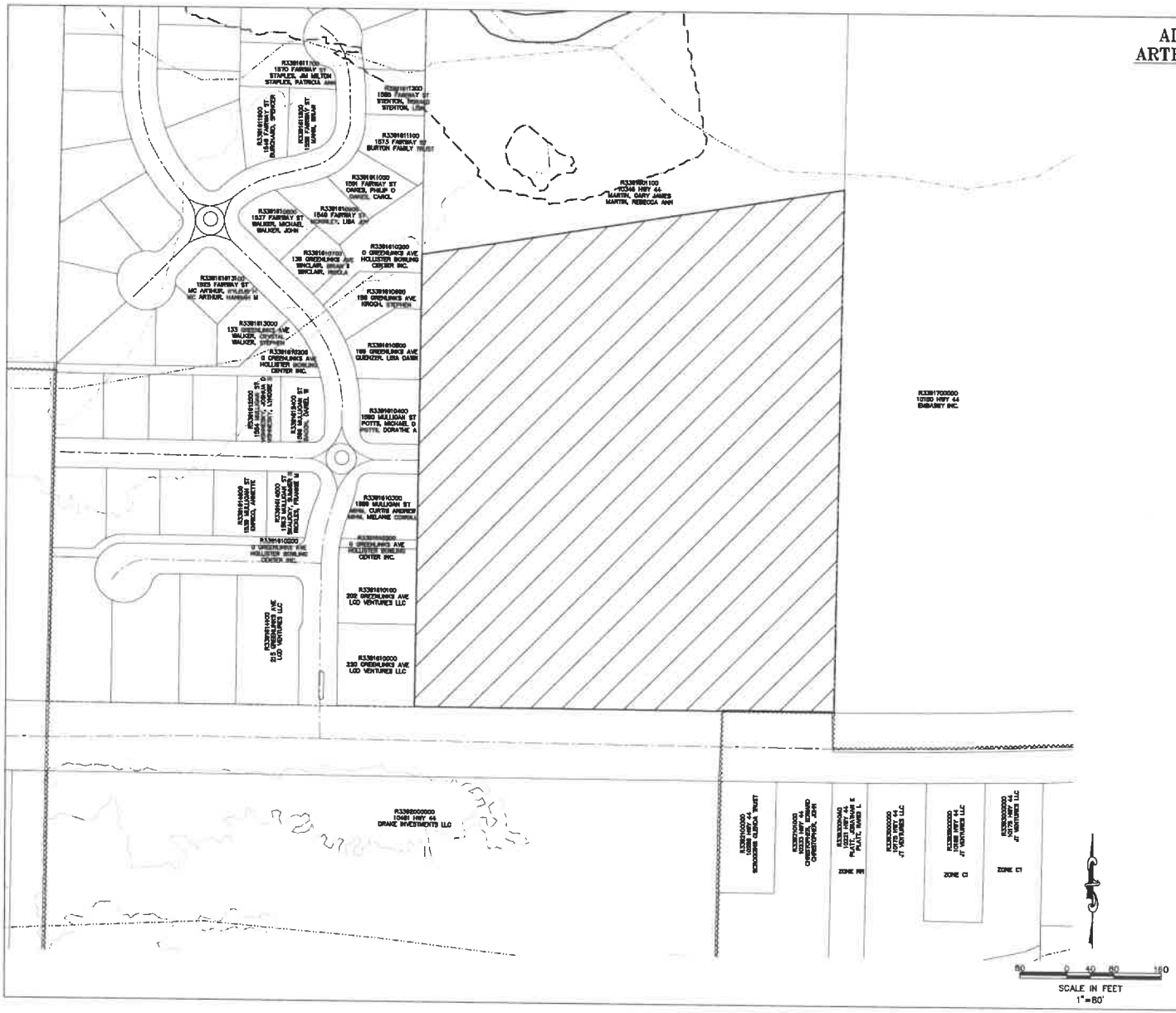
NO.	DATE	DESCRIPTION
1	2021-12-07	ADD NORTH STUB STREET

PRELIMINARY PROFILES
ARTESIAN SPRINGS SUBDIVISION
VALUE LAND LLC

DATE: 01-06-2021
PROJECT: C2021-005
SHEET: PP-5

ADJACENT PROPERTIES FOR ARTESIAN SPRINGS SUBDIVISION

LOCATED IN THE NW 1/4 OF THE NE 1/4
SECTION 8, T.4N., R.2W., B.M.,
MIDDLETON , CANYON COUNTY, IDAHO
2022



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CIVIL ENGINEERING | PLANNING | CADD
1106 E. STATE STREET, SUITE 210
EAGLE, ID 83616
TEL. 208-938-0613
www.baileyengineering.com

PROFESSIONAL ENGINEER
REGISTERED
8272
STATE OF IDAHO
DAVID A. BAILEY

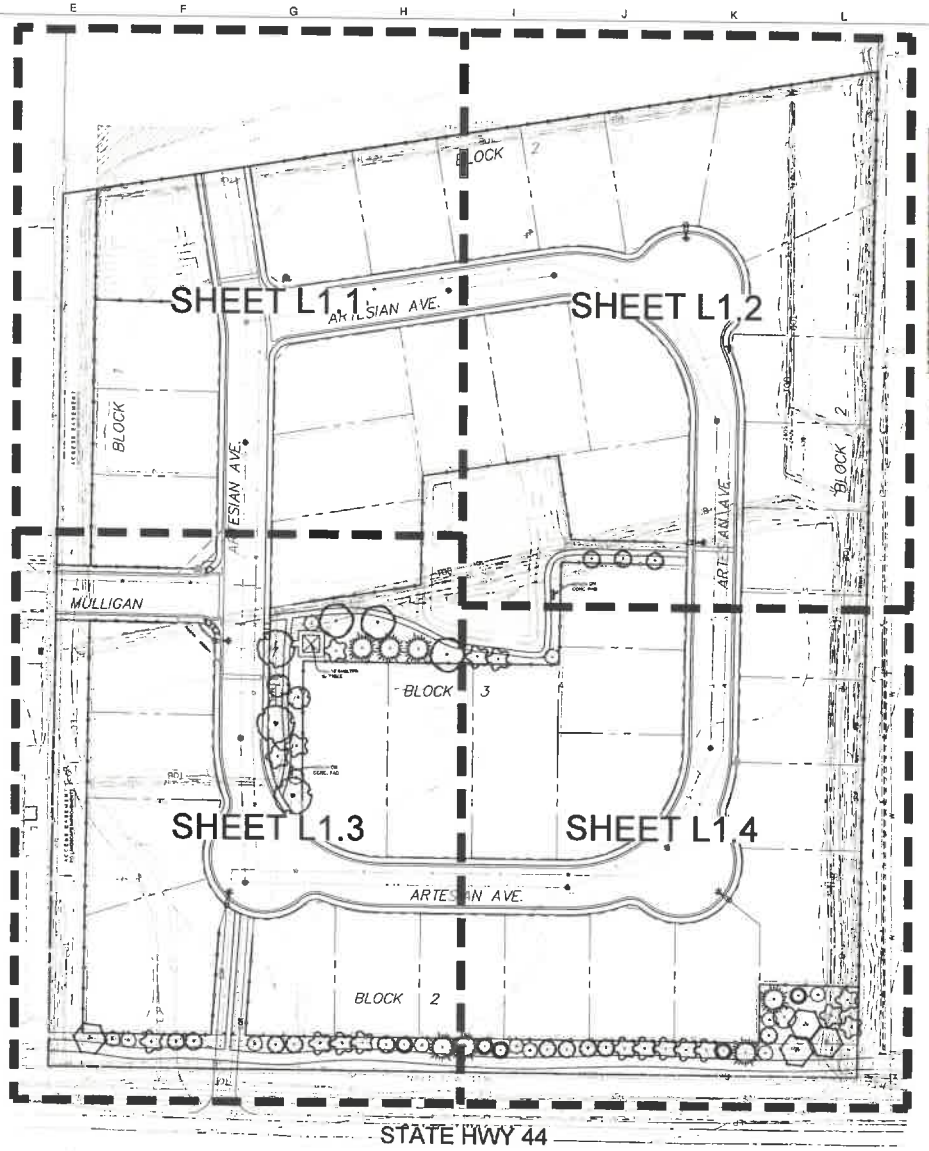
CHECKED BY: DAVID A. BAILEY P.E.
DRAWN BY: DNB/DCB

REVISED

NO.	DATE	DESCRIPTION
1	2021-11-02	CITY & PLANNER COMMENTS

ADJACENT PROPERTIES
ARTESIAN SPRINGS SUBDIVISION
VALUE LAND LLC

DATE: 01-06-2022
PROJECT: C2021-009
SHEET PP-6



OVERALL LANDSCAPE PLAN

SCALE: 1" = 50'-0"

ARTESIAN SPRINGS SUBDIVISION
LOCATED WITHIN NW ¼, OF THE NE ¼,
SECTION 8, T.4N.; R.2W. B.M.
CANYON COUNTY, MIDDLETON, IDAHO

VICINITY MAP

SCALE: NTS

SITE DEVELOPMENT FEATURES

TOTAL PARCEL ACRES -	13.56 ACRES
TOTAL COMMON ACRES -	1.17 ACRES
% OF TOTAL AREA -	8.63%
DENSITY DU/ACRE -	2.95
TOTAL LOTS -	47
TOTAL BUILDING LOTS -	40
TOTAL COMMON LOTS -	7

SEWER
CITY OF MIDDLETON
WATER
CITY OF MIDDLETON
IRRIGATION
CANYON WATER CO. LTD
SCHOOL
MIDDLETON SCHOOL DISTRICT
EMERGENCY SERVICES
FIRE - MIDDLETON FIRE DISTRICT
POLICE - CITY OF MIDDLETON

LANDSCAPING INFORMATION

- COMMON LOTS (NOT REQUIRED)
  1 TREE / 1,500 SF @ 40,853 SF =27 TREES
  TOTAL COMMON AREA TREES = 18 SHADE TREES + 6 CONIFERS + 8 FLOWERING
  =32 PROVIDED
- STATE HWY FRONTAGE (NOT REQUIRED)
  1 TREE / 1,500 SF @ 21,417 SF =14 TREES
  TOTAL COMMON AREA TREES = 15 SHADE TREES + 18 CONIFERS + 14 FLOWERING
  =47 PROVIDED
- WESTERN EASEMENT (NOT REQUIRED)
  1 TREE / 1,500 SF @ 20,071 SF =13 TREES
  TOTAL COMMON AREA TREES = 0 SHADE TREES + 0 CONIFERS + 0 FLOWERING
  =0 PROVIDED
- NOTE
  CONIFERS AND ORNAMENTAL TREES ARE SUBSTITUTED AT THE RATE OF 2 PER SHADE TREE.
  TOTAL SPECIES PROVIDED = 9
- SITE AMENITIES
  AMENITIES PROVIDED
  COMMUNITY GATHERING SPACE
  OPEN GRASSY PLAY AREA
  WALKING PATH CONNECTIVITY

PLANNER
JARMON WAGONER, AICP
JP WAGONER PLANNING
208-781-2914

OWNER
VALUE LAND LLC
1015 VICTORIA AVE.
FRUITLAND, ID 83619

ENGINEER
DAVID A BAILEY, P.E.
BAILEY ENGINEERING, INC.
1119 E. STATE ST. SUITE 210
EAGLE, ID 83616
(208) 938-0013

DEVELOPER
AARON GROSS

LANDSCAPE ARCHITECT
JOHN ROTERS, PLA
SOUTH BECK AND BAIRD
2002 S. VISTA AVE.
BOISE, ID 83705
(208) 343-2999

SEE SHEET L1.1-L1.4 FOR DETAILED LANDSCAPE PLANS, SEE SHEETS L2.0-L2.1 FOR LANDSCAPE DETAILS

STAMP:

DATE: 1/6/2022

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2002 S. Vista Ave
Boise, ID 83705
208 342 2999 Office
info@sbdpc.com
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Prime Consultant:
SBB, a Corporation dba South Beck & Baird Landscape Architecture P.C.
Sub Consultant:
Bailey Engineering, Inc.
Sub Consultant:
Value Land LLC
Developer:
Aaron Gross
Owner:
Value Land LLC
South Landscape Architecture P.C.
Dba South Beck & Baird Landscape Architecture P.C.

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REVISIONS:

No.	Date	Description

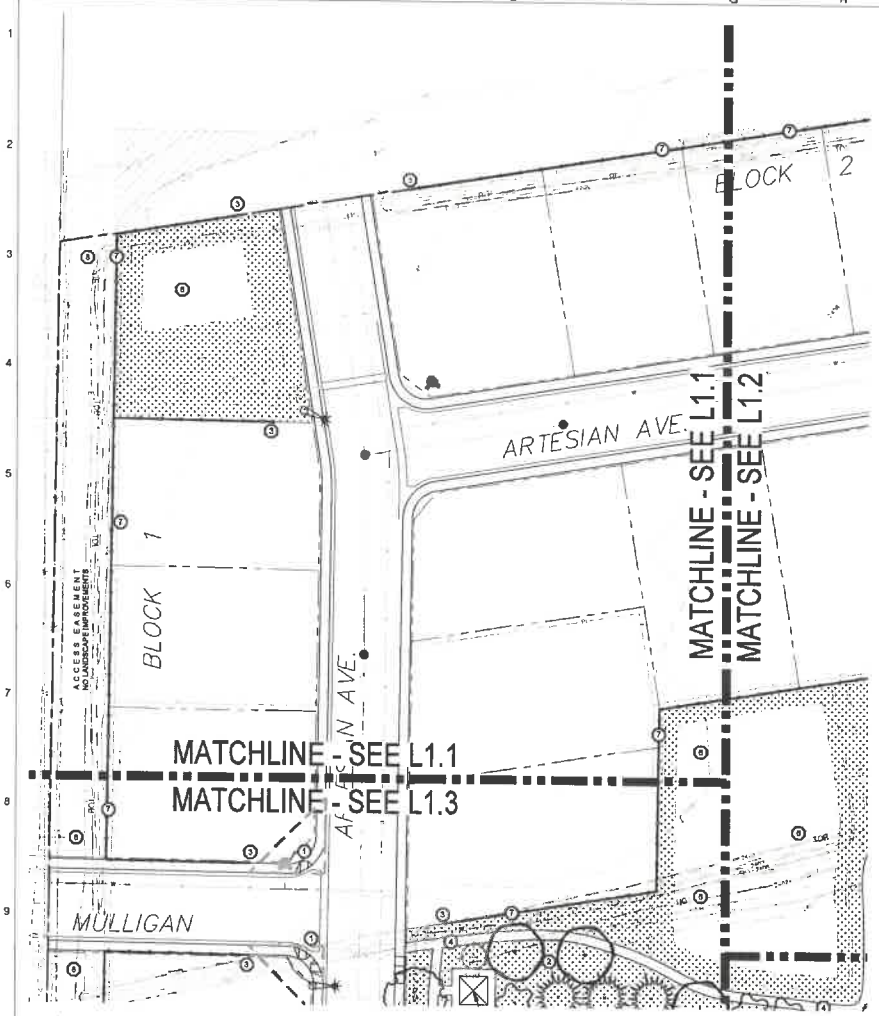
OVERALL LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRW

CHECKED BY: JDR

PROJECT NUMBER 21-0718

SHEET: L1.0



LANDSCAPE PLAN

SCALE: 1" = 30'-0"

LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- PLANTS TO BE INSTALLED
- STEEL EDGING, SEE DETAIL 1/L2.0
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAILS 2 & 3/L2.0
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CONCRETE OR ASPHALT PEDESTRIAN PATHWAY PER CIVIL

PLANT SCHEDULE

NOTE All trees to be grade #1 (Shown at 50% Maturity)

KEY	BOTANICAL NAME / COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				SEE DETAIL 7/L2.0
	Betula nigra / River Birch	2" B&B	35' hgt. 25' w	CLASS II
	Gleditsia triacanthos inermis 'Skyline' / Skyline Honeylocust	2" B&B multi-stem	45' hgt. 30' w	CLASS II
	Amelanchier lamarckii 'Snowcloud' / Snowcloud Serviceberry	2" B&B	25' hgt. 20' w	CLASS II
	Prunus cerasifera 'Thundercloud' / Thundercloud Plum	2" B&B	20' hgt. 20' w	CLASS I
	Quercus robur x alba / Streetspire Oak	2" B&B	35' hgt. 15' w	CLASS I
	Tilia tomentosa 'Sterling' / Sterling Linden	2" B&B	45' hgt. 35' w	CLASS II
CONIFEROUS TREES				SEE DETAIL 6/L2.0
	Cedrus deodara 'Aurea' / Golden Deodar Cedar	6' B&B	35' hgt. 15' w	CONIF.
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Limber Pine	6' B&B	25' hgt. 15' w	CONIF.
	Picea pungens 'Moerheim' / Moerheim Blue Spruce	8'-10' B&B	45' hgt. 20' w	CONIF.
GROUND COVERS/ GRASSES/ PERENNIALS				SEE DETAIL 4/L2.0
	Coreopsis rosea 'Sweet Dreams' / Sweet Dreams Tickseed	1 Gal.	1' hgt. x 1' wide	
	Calamagrostis x. acutiflora 'Overdam' / Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide	
SHRUBS				SEE DETAIL 5/L2.0
	Cornus alba 'Bailhalo' / Ivory Halo Dogwood	5 Gal.	6' hgt. x 6' wide	
	Rhus trilobata 'Autumn Amber' / Autumn Amber sumac	2 Gal.	6' hgt. x 6' wide	
	Rosa x 'Noaesplash' / Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide	

CALLOUT LEGEND

1. 40' VISION TRIANGLE
2. OPEN GRASSY PLAY SPACE
3. START FENCE LINE AT 20' BUILDING SETBACK.
4. 5' WIDE PATHWAY
5. PATHWAY, PER CIVIL
6. STORM WATER MANAGEMENT, PER CIVIL
7. 6' VINYL PRIVACY FENCE, SEE DETAIL 5 L2.0
8. ACCESS EASEMENT

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION. ALL PLANT MATERIAL SHALL BE GRADE #1 OR BETTER.
2. ALL PLANTING BEDS AND TREE WELLS (IN LAWN AREAS (WELLS TO BE 3' IN DIAMETER) SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 1" BARK MULCH. SUBMIT SAMPLE FOR APPROVAL BY OWNER.
3. ALL LAWN AREAS SHALL BE SODDED WITH 100% TURF TYPE TALL FESCUE (FESTUCA ARUNDINACIA). CONTRACTOR SHALL VERIFY AND MATCH THE VARIETY EXISTING IN THE ADJACENT DEVELOPMENT.
4. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
5. PLANTING BACKFILL FOR TREES AND PLANTING BEDS SHALL BE 5 PARTS TOPSOIL AND 1 PART COMPOST WITH STRAW. STAKE ALL TREES PER DETAILS.
6. ALL LAWN AREAS SHALL HAVE 6" OF TOPSOIL AND ALL PLANTING BEDS SHALL HAVE 12" OF TOPSOIL (MINIMUM). TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL LARGER THAN 1" IN ANY DIMENSION. A PH FROM 5.5 TO 7.0. TOP SOIL FROM SITE SHALL BE USED, IF MEETING THESE STANDARDS. PLACE 1/2" COMPOST OVER ALL LANDSCAPED AREAS AND ROTOTILL INTO TOP 4". SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE, 1" BELOW SURFACE OF WALKS AND CURBS IN AREAS TO BE SODDED AND 3" IN PLANTING BED AREAS.
7. FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS, 21 GRAM, QUANTITY PER MANUFACTURER'S RECOMMENDATION.
8. PLANT MATERIAL SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN PERMISSION OF OWNER. SUBMIT NAMES OF THREE SUPPLIERS CONTACTED IF SUBSTITUTION IS REQUESTED AND PLANT MATERIAL SPECIFIED IS NOT AVAILABLE.
9. SHRUB PLANTING BEDS SHALL BE SHOVEL EDGED TO CREATE A DISTINCT SEPARATION OF LANDSCAPE TYPES.
10. IMMEDIATELY CLEAN UP ANY TOPSOIL, OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE OPERATION AND DISPOSE OF PROPERLY OFF SITE.
11. ALL LANDSCAPE AREAS SHALL HAVE AN STATE OF THE ART AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND IS PROPERLY ZONED FOR REQUIRED WATER USES AND HAS A WEATHER STATION CAPABLE OF TURNING OFF FOR RAIN/FREEZE EVENTS. ALL SHRUB ZONES, SPRAY ZONES AND GEAR DRIVEN ZONES SHALL BE PLACED ON SEPARATE ZONES. DO NOT EXCEED A MAXIMUM OF 5 FPS IN ALL MAINLINE AND LATERAL LINES.
12. COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST PER FIELD CONDITIONS.
13. ALL EXISTING TREES SHOWN TO REMAIN SHALL BE RETAINED AND PROTECTED THROUGH OUT CONSTRUCTION.
14. NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
15. STORM PONDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
16. ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
17. TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET ACHD STANDARDS.

IRRIGATION NOTES:

1. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM.
5. ELECTRONIC WATER DISTRIBUTION TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS
   a. PRECISE INDIVIDUAL STATION TIMING
   b. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
   c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
   d. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
   e. POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
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9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (8) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.
10. POINT OF CONNECTION TO BE APPROVED BY JURISDICTION PROVIDING WATER SOURCE.

STAMP:

DATE: 1/6/2022

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info@sbdlap.com
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South Landscape Architecture P.C.
See South Beck & Baird Landscape Architecture P.C.

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REVISIONS:

No.	Date	Description

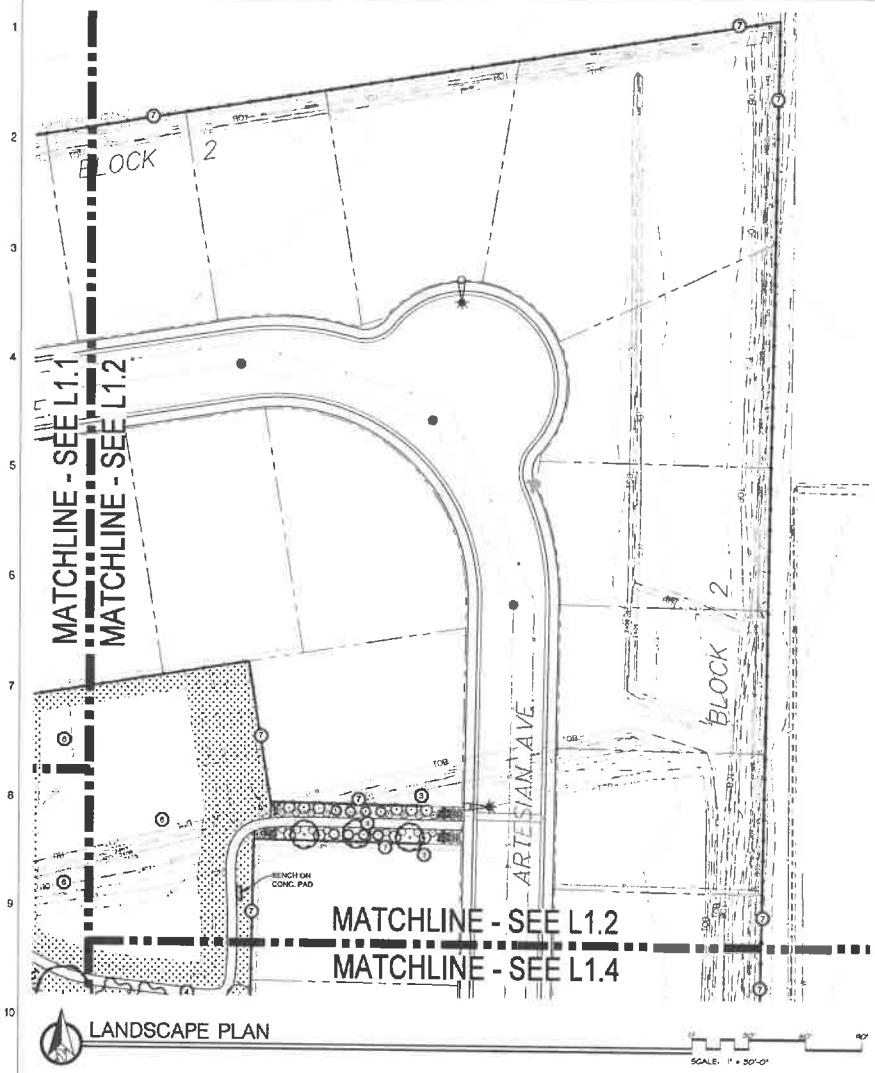
LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB

CHECKED BY: JDR

PROJECT NUMBER 21-0718

SHEET: L1.1



LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- PLANTS TO BE INSTALLED
- STEEL EDGING, SEE DETAIL 1/L2.0
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAILS 2 & 3/L2.0
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PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

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STAMP:

DATE: 1/6/2022

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South Landscape Architecture P.C.
Dba South Beck & Baird Landscape Architecture P.C.
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www.sbdpllc.com

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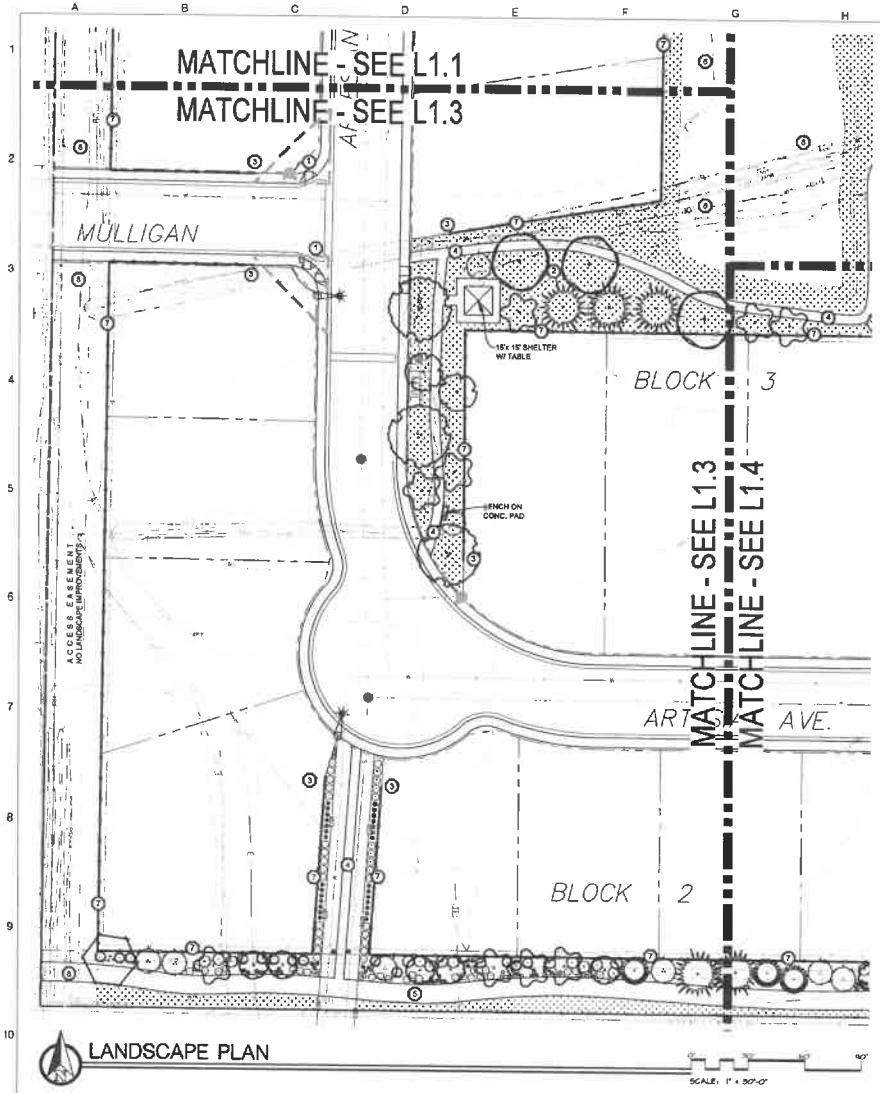
REVISIONS:

No.	Date	Description

LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB
CHECKED BY: JDR
PROJECT NUMBER 21-0718
SHEET: L1.2



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	Rosa x 'Noesplash' Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide	

CALLOUT LEGEND

1. 40' VISION TRIANGLE
2. OPEN GRASSY PLAY SPACE
3. START FENCE LINE AT 20' BUILDING SETBACK.
4. 5' WIDE PATHWAY
5. PATHWAY, PER CIVIL
6. STORM WATER MANAGEMENT, PER CIVIL
7. 6' VINYL PRIVACY FENCE, SEE DETAIL 5 L2.0
8. ACCESS EASEMENT

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION. ALL PLANT MATERIAL SHALL BE GRADE #1 OR BETTER.
2. ALL PLANTING BEDS AND TREE WELLS IN LAWN AREAS (WELLS TO BE 3' IN DIAMETER) SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 1" BARK MULCH. SUBMIT SAMPLE FOR APPROVAL BY OWNER.
3. ALL LAWN AREAS SHALL BE SODDED WITH 100% TURF TYPE TALL FESCUE (FESTUCA ARUNDINACIA). CONTRACTOR SHALL VERIFY AND MATCH THE VARIETY EXISTING IN THE ADJACENT DEVELOPMENT.
4. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
5. PLANTING BACKFILL FOR TREES AND PLANTING BEDS SHALL BE 5 PARTS TOPSOIL AND 1 PART COMPOST WITH STRAW. STAKE ALL TREES PER DETAILS.
6. ALL LAWN AREAS SHALL HAVE 6" OF TOPSOIL AND ALL PLANTING BEDS SHALL HAVE 12" OF TOPSOIL (MINIMUM). TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL LARGER THAN 1" IN ANY DIMENSION. A PH FROM 6.5 TO 7.0. TOP SOIL FROM SITE SHALL BE USED, IF MEETING THESE STANDARDS. PLACE 1/2" COMPOST OVER ALL LANDSCAPED AREAS AND ROTOTILL INTO TOP 4". SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE, 1" BELOW SURFACE OF WALKS AND CURBS IN AREAS TO BE SODDED AND 3" IN PLANTING BED AREAS.
7. FERTILIZE ALL TREES AND SHRUBS WITH "AGRIFORM" PLANTING TABLETS, 21 GRAM, QUANTITY PER MANUFACTURER'S RECOMMENDATION.
8. PLANT MATERIAL SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN PERMISSION OF OWNER. SUBMIT NAMES OF THREE SUPPLIERS CONTACTED IF SUBSTITUTION IS REQUESTED AND PLANT MATERIAL SPECIFIED IS NOT AVAILABLE.
9. SHRUB PLANTING BEDS SHALL BE SHOVEL EDGED TO CREATE A DISTINCT SEPARATION OF LANDSCAPE TYPES.
10. IMMEDIATELY CLEAN UP ANY TOPSOIL, OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE OPERATION AND DISPOSE OF PROPERLY OFF SITE.
11. ALL LANDSCAPE AREAS SHALL HAVE AN STATE OF THE ART AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND IS PROPERLY ZONED FOR REQUIRED WATER USES AND HAS A WEATHER STATION CAPABLE OF TURNING OFF FOR RAIN/FREEZE EVENTS. ALL SHRUB ZONES, SPRAY ZONES AND GEAR DRIVEN ZONES SHALL BE PLACED ON SEPARATE ZONES. DO NOT EXCEED A MAXIMUM OF 5 FPS IN ALL MAINLINE AND LATERAL LINES.
12. COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST PER FIELD CONDITIONS.
13. ALL EXISTING TREES SHOWN TO REMAIN SHALL BE RETAINED AND PROTECTED THROUGH CUT CONSTRUCTION.
14. NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
15. STORM PONDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE/IRRIGATION SYSTEM.
16. ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
17. TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET ACHD STANDARDS.

IRRIGATION NOTES:

1. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM.
5. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS
   a. PRECISE INDIVIDUAL STATION TIMING
   b. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
   c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
   d. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
   e. POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
6. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
8. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (8) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.
10. POINT OF CONNECTION TO BE APPROVED BY JURISDICTION PROVIDING WATER SOURCE.

STAMP:

DATE: 1/6/2022

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REVISIONS:

No.	Date	Description

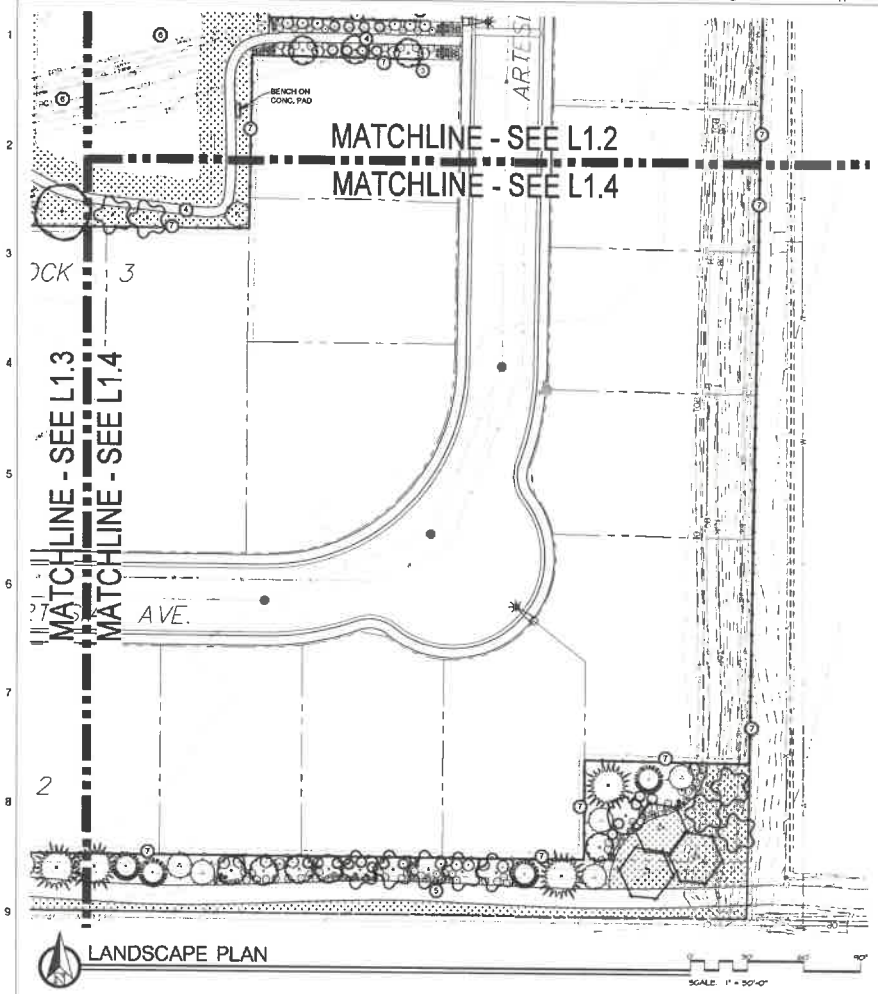
LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB

CHECKED BY: JDR

PROJECT NUMBER 21-0716

SHEET: L1.3



LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- PLANTS TO BE INSTALLED
- STEEL EDGING, SEE DETAIL 1/L2.0
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAILS 2 & 3/L2.0
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CONCRETE OR ASPHALT PEDESTRIAN PATHWAY PER CIVIL

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME / COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				SEE DETAIL 7/L2.0
	Betula nigra / River Birch	2" B&B	35' hgt. 25' w	CLASS II
	Gleditsia triacanthos inermis 'Skyline' / Skyline Honeylocust	2" B&B multi-stem	45' hgt. 30' w	CLASS II
	Amelanchier leavis 'Snowcloud' -- / Snowcloud Serviceberry	- 2" B&B	-25' hgt. 20' w	CLASS II
	Prunus cerasifera 'Thundercloud' / Thundercloud Plum	2" B&B	20' hgt. 20' w	CLASS I
	Quercus robur x alba / Streetspire Oak	2" B&B	35' hgt. 15' w	CLASS I
	Tilia tomentosa 'Sterling' / Sterling Linden	2" B&B	45' hgt. 35' w	CLASS II
CONIFEROUS TREES				SEE DETAIL 8/L2.0
	Cedrus deodara 'Aurea' / Golden Deodar Cedar	8' B&B	55' hgt. 15' w	CONIF.
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Limber Pine	8' B&B	25' hgt. 15' w	CONIF.
	Picea pungens 'Moerheim' / Moerheim Blue Spruce	8'-10' B&B	45' hgt. 20' w	CONIF.
GROUND COVERS/ GRASSES/ PERENNIALS				SEE DETAIL 4/L2.0
	Coreopsis rosea 'Sweet Dreams' / Sweet Dreams Tickseed	1 Gal.	1' hgt. x 1' wide	
	Calamagrostis x. acutiflora 'Overdam' / Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide	
SHRUBS				SEE DETAIL 5/L2.0
	Cornus alba 'Bailhalo' / Ivory Halo Dogwood	5 Gal.	6' hgt. x 6' wide	
	Rhus trilobata 'Autumn Amber' / Autumn Amber sumac	2 Gal.	6" hgt. x 6' wide	
	Rosa x 'Noesplash' / Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide	

CALLOUT LEGEND

1. 40' VISION TRIANGLE
2. OPEN GRASSY PLAY SPACE
3. START FENCE LINE AT 20' BUILDING SETBACK.
4. 5' WIDE PATHWAY
5. PATHWAY, PER CIVIL
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STAMP:

DATE: 1/6/2022

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208 342-2599 Office
www.sbdlandscape.com
South Beck & Baird Landscape Architecture P.C.

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REVISIONS:

No.	Date	Description

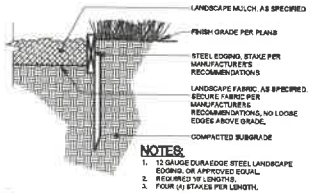
LANDSCAPE PLAN
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB

CHECKED BY: JDR

PROJECT NUMBER: 21-0718

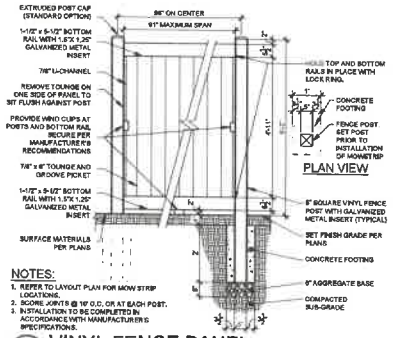
SHEET: L1.4



NOTES:
1. 12 GAUGE DURA EDGE STEEL LANDSCAPE EDGING, OR APPROVED EQUAL.
2. REQUIRED 16' LENGTHS.
3. FOUR (4) STAKES PER LENGTH.

1 DURA EDGE STEEL EDGING

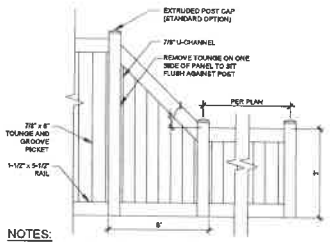
NOT TO SCALE



NOTES:
1. REFER TO LAYOUT PLAN FOR MOW STRIP LOCATIONS.
2. SCORE JOINTS @ 10' O.C., OR AT EACH POST.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

2 VINYL FENCE PANEL

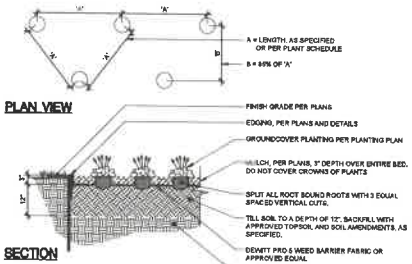
SCALE 1/2"= 1'-0"



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

3 VINYL FENCE - 3' HT TRANSITION *OPTIONAL

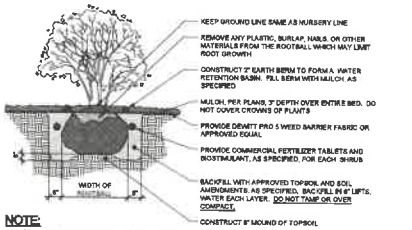
NOT TO SCALE



NOTES:
1. ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN.
2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

4 PERENNIAL & GROUNDCOVER PLANTING

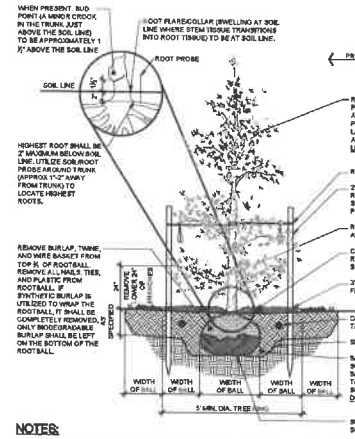
NOT TO SCALE



NOTE:
1. WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

5 SHRUB PLANTING

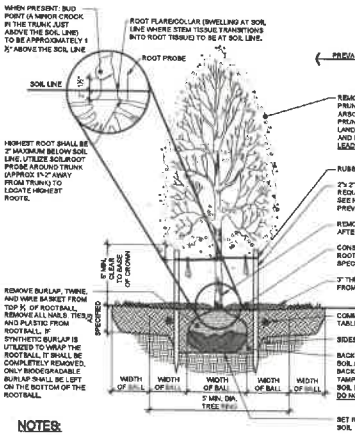
NOT TO SCALE



NOTES:
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICH EVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

6 CONIFEROUS TREE PLANTING

NOT TO SCALE



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5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
7. FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8-0" IN WIDTH, PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. EXTEND ROOT BARRIER TO 80% OF MATURE TREE CANOPY. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS. CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.

7 DECIDUOUS TREE PLANTING

NOT TO SCALE

STAMP:

DATE: 1/6/2022

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Planning & Landscape Architecture
Golf Course Design
Parks & Recreation Facilities
Residential Design
Commercial Design
Master Planning
Design/Build
Construction Observation

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REVISIONS:

No.	Date	Description

DETAIL SHEET
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB

CHECKED BY: JDR

PROJECT NUMBER 21-078

SHEET: L2.0

MAGLIN

NOTE

1 PICNIC TABLE

Scale NOT TO SCALE

NOTE

2 PERGOLA SHADE STRUCTURE

Scale: NTS

MBE-0720-00020

MAGLIN

NOTE

3 BENCH

Scale NOT TO SCALE

ETAMP

DATE: 1/6/2022

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REVISIONS:

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AMENITIES DETAIL SHEET
ARTESIAN SPRINGS SUBDIVISION
MIDDLETON IDAHO

DRAWN BY: JRB

CHECKED BY: JDR

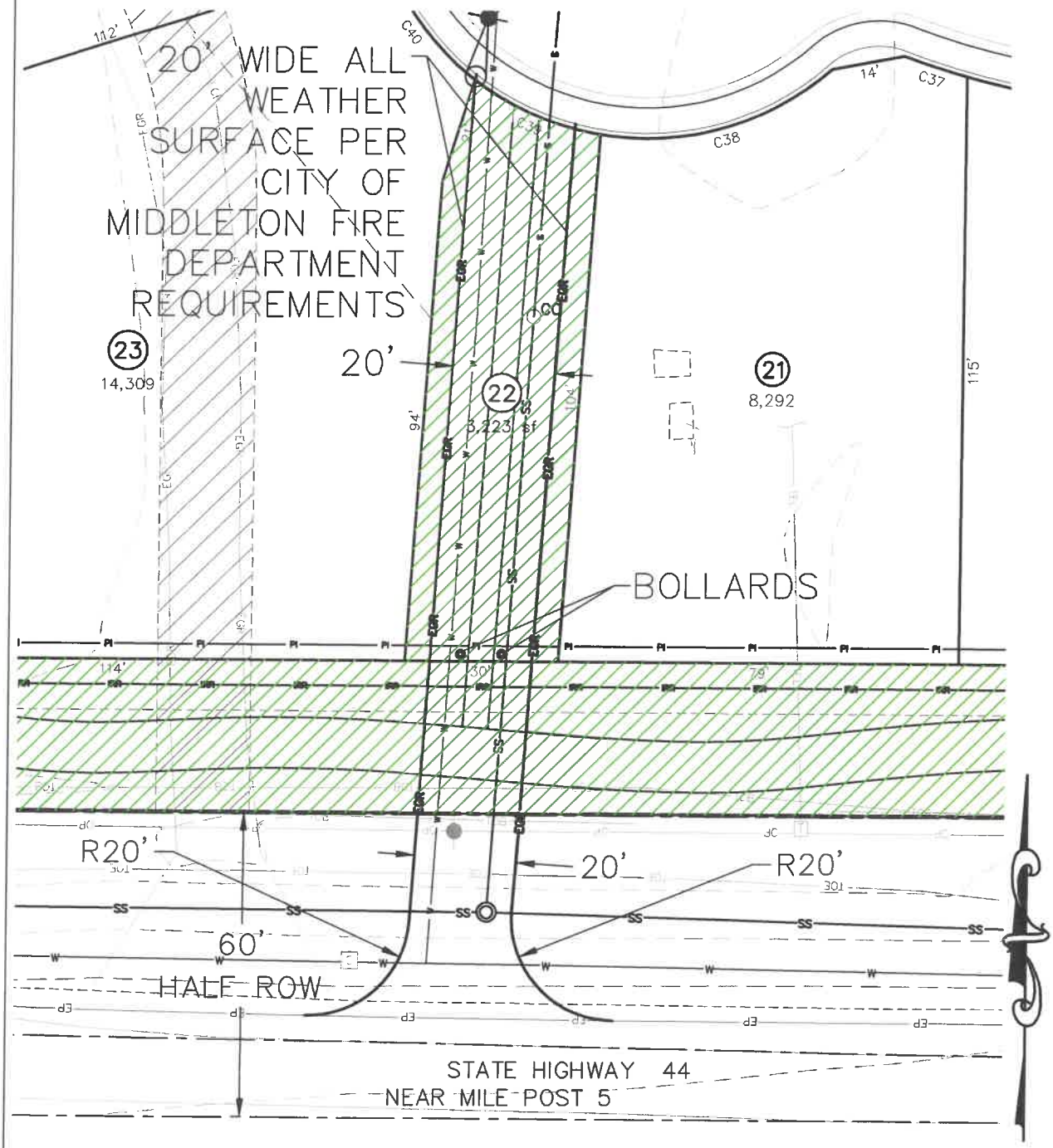
PROJECT NUMBER 21-2718

SHEET: L2.1

Exhibit “A”

EMERGENCY ACCESS FOR ARTESIAN SPRINGS SUBDIVISION

LOCATED IN THE NW 1/4 OF THE NE 1/4
SECTION 6, T.4N., R.2W., B.M.,
MIDDLETON , CANYON COUNTY, IDAHO
2022



30 0 15 30 60

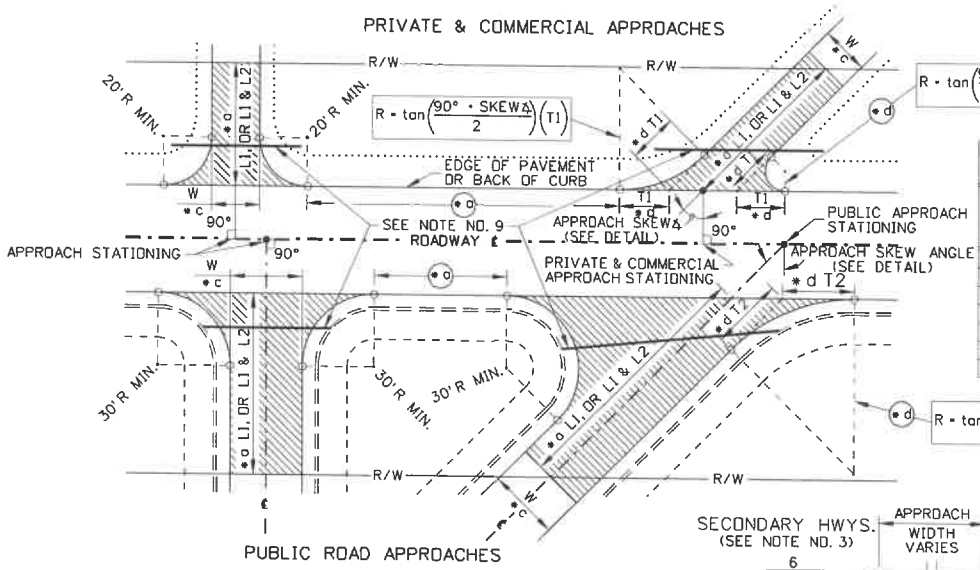
SCALE IN FEET
1"=30'

Bailey Engineering, Inc.

CIVIL ENGINEERING | PLANNING | CADD

1119 E. STATE ST, SUITE 210
EAGLE, ID 83616

TEL 208-938-0013
FAX 208-938-0516

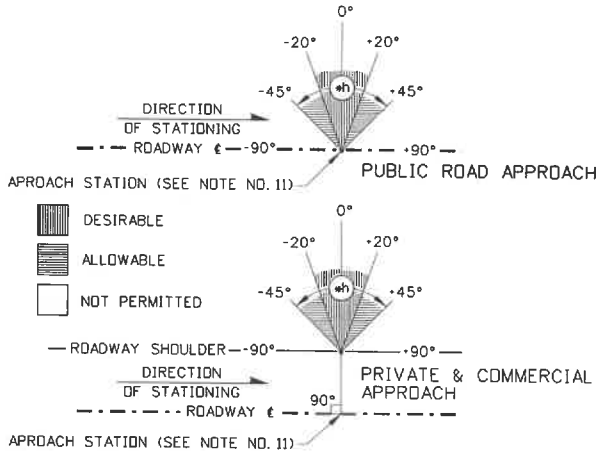


$$R = \tan\left(\frac{90° - SKEW\measuredangle}{2}\right)(T1)$$

$$R = \tan\left(\frac{90° - SKEW\measuredangle}{2}\right)(T2)$$

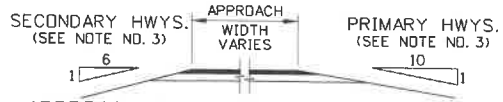
APPROACH PLAN TYPICALS

APPROACH PLAN LEGEND & APPROACH NOMENCLATURE	
CUT	
FILL	
PROPOSED DITCH	
PROPOSED CULVERT	
SKEW ∡	SEE NOTE NO. 10
R	RADIUS OF SHD. CURVE
T1 & T2	TANGENT OF SHD. CURVE
W	APPROACH WIDTH
G1 & G2	APPR. GRADES 1 & 2 (%)
C	CHANGE IN GRADE (%)
L1 & L2	HORZ. LENGTH OF GRADE



APPROACH SKEW ANGLE

(SEE NOTE NO. 10)

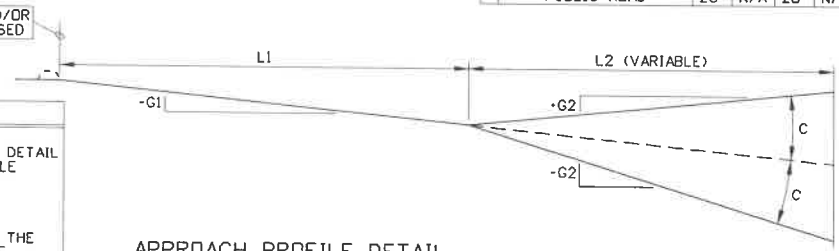


APPROACH TYPICAL - CLEARZONE SLOPES

(PUBLIC & PRIVATE)

APPROACH GRADE TABLE				
TRAFFIC TYPE	GRADE PARAMETER G1 (RANGE)	GRADE PARAMETER G2 (MAX.)	MAX. CHANGE IN GRADE C (*e)	MINIMUM LENGTH L1
HIGH VOLUME (COMMERCIAL, INDUSTRIAL)	-2% TO -3%	±5%	±3%	40'
LOW VOLUME (COMMERCIAL, INDUSTRIAL)	-2% TO -5%	±8%	±6%	40'
SINGLE RESIDENTIAL, FARMYARD, FIELD	-2% TO -8%	±15% * g	VEHICLE CLEARANCE	10'
MULTIPLE RESIDENTIAL	-2% TO -8%	±15% * g	±6%	20'
PUBLIC ROAD	-2%	* f	±2%	20'

(*a) STANDARD APPROACH WIDTH TABLE					
POSTED SPEED (mph)		≤35		>35	
MIN./MAX. WIDTH		MIN.	MAX.	MIN.	MAX.
APPR. TYPE	MULTIPLE RESIDENTIAL	28'	40'	28'	40'
	SINGLE RESIDENTIAL, FARMYARD, FIELD	12'	40'	20'	40'
	COMMERCIAL (ONE-WAY)	15'	30'	20'	30'
	COMMERCIAL (TWO-WAY)	25'	40'	25'	40'
	PUBLIC ROAD	28'	N/A	28'	N/A



APPROACH PROFILE DETAIL

SUB-NOTES

- * a (SEE NOTE NO. 2)
- * b SEE NOTE NO. 1 & APPROACH PROFILE DETAIL
- * c SEE STANDARD APPROACH WIDTH TABLE
- * d T1 = 20' MINIMUM, T2 = 30' MINIMUM
- * e (SEE NOTE NO. 4)
- * f (SEE NOTE NO. 5)
- * g (SEE NOTE NO. 6)
- * h THE APPROACH ℄ IS TO FALL WITHIN THE ALLOWABLE OR DESIRABLE LIMITS. THE DESIRABLE LIMIT IS CONSIDERED THE "SAFEST OPTION."

NOTES

1. RURAL PRIVATE, COMMERCIAL, AND PUBLIC APPROACHES SHALL BE PAVED TO THE RIGHT-OF-WAY LINE OR TO THE BACK OF THE SHOULDER CURVE (APPROACH RADIUS). FARMYARD AND FIELD APPROACHES THAT ARE OCCASIONALLY USED MAY BE PAVED A MINIMUM OF 5' FROM THE SHOULDER LINE. APPROACHES ON EXISTING UNPAVED HIGHWAYS ARE EXEMPT.
2. REFER TO THE ITD ADMINISTRATIVE POLICY (A-12-01) FOR ADDITIONAL INFORMATION ON LOCATION OF APPROACHES.
3. WITHIN THE CLEARZONE THE SIDE SLOPES OF APPROACHES SHALL BE A MINIMUM OF 6:1 OF SECONDARY HIGHWAYS AND A MINIMUM OF 10:1 ON PRIMARY HIGHWAYS.
4. WHEN THE "MAXIMUM CHANGE IN GRADE" (APPROACH GRADE TABLE) "C" IS EXCEEDED, A MINIMUM 10' VERTICAL CURVE SHALL BE USED IN THE APPROACH PROFILE.
5. THE % GRADE OF "G2" SHALL BE A MAXIMUM OF 7% FOR FLAT TERRAIN, 11% FOR ROLLING TERRAIN, OR 15% FOR MOUNTAINOUS.
6. APPROACH GRADES EXCEEDING 10% ARE NOT RECOMMENDED BECAUSE EMERGENCY VEHICLES MAY BE IMPEDED.
7. THE BALLAST REQUIREMENTS OF RURAL APPROACHES SHALL BE AS SHOWN ON THE PLANS.
8. WHEN A MAILBOX TURNOUT IS INSTALLED WITH A RURAL APPROACH, STD. DWG. 405-2 IS REQUIRED.
9. ALL RURAL PRIVATE AND COMMERCIAL APPROACHES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT THE APPROACH DRAINAGE IS INDEPENDENT AND DOES NOT CONTRIBUTE TO EXISTING HIGHWAY DRAINAGE. ALL RURAL PUBLIC APPROACHES SHALL BE DESIGNED AND CONSTRUCTED TO ADDRESS BOTH THE MAIN HIGHWAY AND APPROACH DRAINAGE.
10. THE APPROACH SKEW ANGLE IS THE DEFLECTION ANGLE BETWEEN A LINE PERPENDICULAR TO THE HIGHWAY CENTERLINE AND THE APPROACH CENTERLINE.
11. RURAL PRIVATE AND COMMERCIAL APPROACHES ARE REFERENCED LEFT OR RIGHT OF THE HIGHWAY CENTERLINE STATION TO THE CENTER OF THE APPROACH OPENING WHICH IS AT THE EDGE OF PAVEMENT OR BACK OF CURB. A PUBLIC APPROACH STATION OCCURS WHERE THE PUBLIC APPROACH CENTERLINE INTERSECTS THE HIGHWAY CENTERLINE.
12. NOT TO SCALE.

ORIGINAL STORED AT: ITD, Headquarters 3311 West State Boise, Idaho

ORIGINAL SIGNED BY: MILFORD L. MILLER DATE ORIGINAL SIGNED: JUNE 19, 2007

REVISIONS								
NO.	DATE	BY	NO.	DATE	BY	NO.	DATE	BY
1	01-00	MSM	6	12-05	MSM			
2	01-02	MSM	7	06-07	MSM			
3	07-02	MSM						
4	10-02	MSM						
5	08-04	MSM						

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY

CADD FILE NAME: 405-1_0607.dgn

DRAWING DATE: SEPTEMBER, 1993

IDAHO TRANSPORTATION DEPARTMENT

BOISE IDAHO

ORIGINAL SIGNED BY: LOREN THOMAS
ASSISTANT CHIEF ENGINEER (DEVELOPMENT)
ORIGINAL SIGNED BY: STEVEN HUTCHINSON
CHIEF ENGINEER

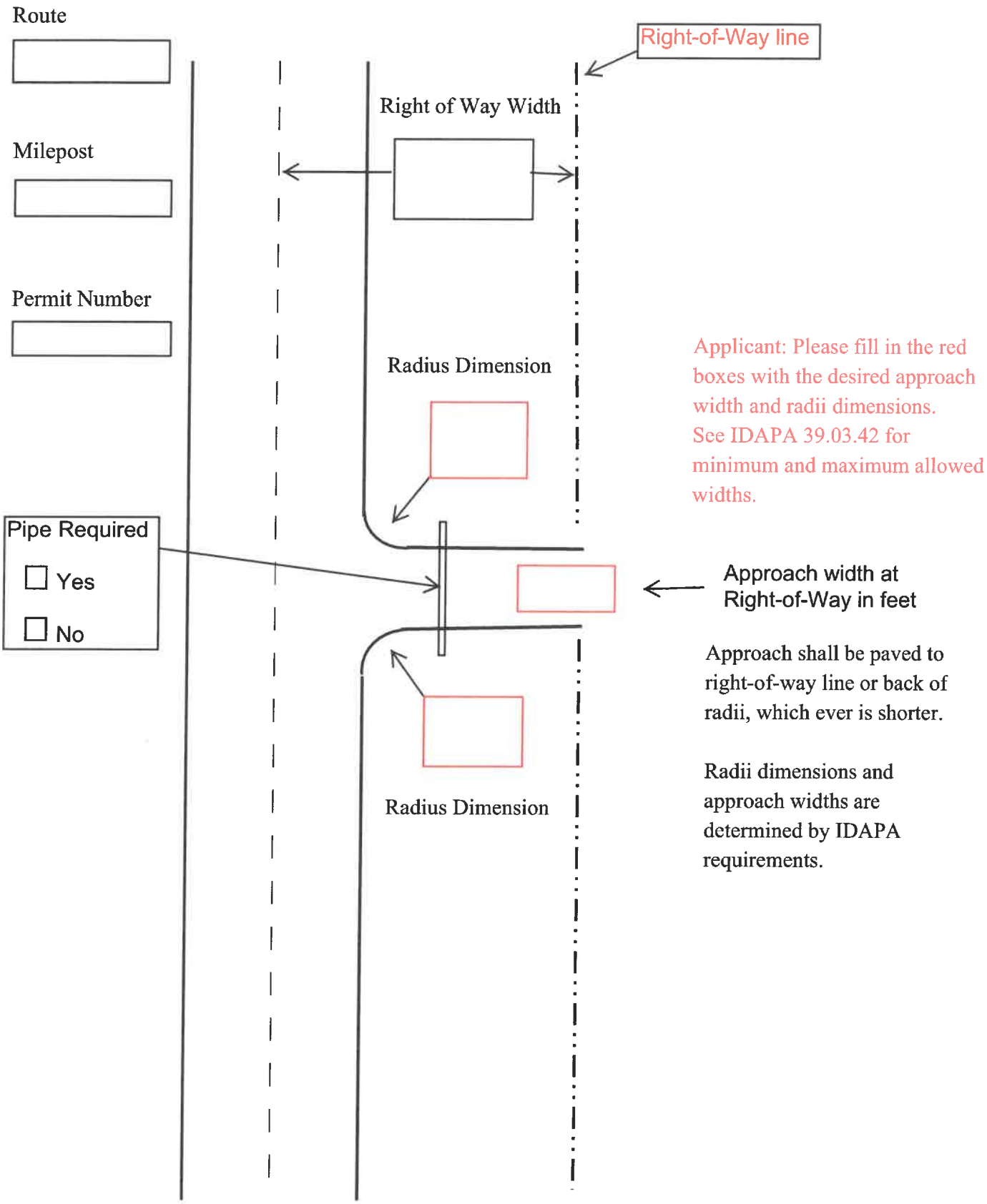
STANDARD DRAWING

RURAL APPROACHES

English

STANDARD DRAWING NO. 405-1

SHEET 1 OF 1


Route
Milepost
Permit Number
Right-of-Way line
Right of Way Width
Radius Dimension
Pipe Required
Yes
No
Approach width at Right-of-Way in feet
Radius Dimension
Applicant: Please fill in the red boxes with the desired approach width and radii dimensions. See IDAPA 39.03.42 for minimum and maximum allowed widths.
Approach shall be paved to right-of-way line or back of radii, which ever is shorter.
Radii dimensions and approach widths are determined by IDAPA requirements.

APPROACH USE	< 35 MPH		≥ 35 MPH		RADII	
	Minimum	Maximum	Minimum	Maximum	Minimum	Maximum
Single Residential, Farmyard, Field	12ft	40ft	20ft	40ft	20ft	30ft
Multiple Residential	28ft	40ft	28ft	40ft	20ft	30ft
Commercial (One-Way)	15ft	30ft	20ft	30ft	30ft	40ft
Commercial (Two-Way)	25ft	40ft	25ft	40ft	30ft	40ft
Boulevard Approach	84ft	84ft	84ft	84ft	Contact Department	
Joint-Use Residential/Farm	25ft	40ft	25ft	40ft	20ft	30ft
Joint-Use Commercial	12ft	40ft	20ft	40ft	30ft	40ft
Public Highways	28ft	N/A	28ft	N/A	30ft	50ft

(3-27-13)

07. Property Line Clearance. (3-30-01)

a. In curbed sections, there shall be a minimum property line clearance of six (6) feet to accommodate approach transitions. Approaches shall be constructed so that all approach flares and any extensions of the approach remain within applicant's property. (3-27-13)

b. In rural or uncurbed sections, property line clearances shall be equal to approach radius. Approaches shall be constructed so that all approach radii remain within applicant's property. (3-30-01)

c. Approach transitions or radii may be allowed to abut the adjacent property line when required for proper utilization of property. Joint-use approaches shall be required whenever property frontage is insufficient to include full width of the approach, including both radii. (3-30-01)

08. Setback. (3-30-01)

a. Improvements intended to serve patrons on private property adjacent to state highway right-of-way shall be setback from the highway right-of-way line so that stopping, standing, parking or maneuvering of vehicles on the right-of-way is not necessary. A minimum setback of fourteen (14) feet from state highway right-of-way line is recommended, unless a greater minimum is established by an engineering study. When an ordinance requires a certain number of parking spaces per square footage of building, the parking spaces shall not be included within state highway right-of-way. (3-27-13)

b. Traffic movements into and out of a business shall be designed, whenever possible, to utilize existing local roads. Existing approaches along traveled way should serve as exits only from the business onto the state highway. Entrance to the property should be made from a local road. (3-30-01)

09. Sight Distance. Any encroachment, including but not limited to hedges, shrubbery, fences, walls, or other sight obstructions of any nature, that constitutes a traffic hazard within the "vision triangle" of vehicle operators at the intersection of roads with other roads, private approaches, alleys, bike or pedestrian paths, or railroad

Exhibit “B”

Civil Dynamics
305 Cornell St. • Middleton, Idaho 83644 • 208.453.2028

December 6, 2021

TO: Jennica Reynolds, Planner

FROM: Civil Dynamics PC, City Engineer
Amy Woodruff, PE

RE: Artesian Springs Subdivision - Preliminary Plat Recommendation of Approval

---

Thank you for the opportunity to review the above referenced preliminary plat submittal.

We recommend the preliminary plat be approved as presented.

Exhibit "C"

Artesian Springs Subdivision

MIDDLETON RURAL FIRE DISTRICT

STAR FIRE PROTECTION DISTRICT

DATE: January 5, 2022

TO: Middleton City Planning & Zoning

Middleton City Council

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Review

PROJECT NAME: Artesian Springs Subdivision

Fire District Summary Report:

Overview: This development can be serviced by the Middleton Rural Fire District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Middleton, Idaho.

Fire Response Time: This development will be served by the Star Fire Protection District Station 53, located at 302 East Main St., Middleton, Idaho. Station 53 is 1.1 miles with a travel time of 3 minutes under ideal driving conditions to the proposed entrance of the development off Mulligan St.

Accessibility: Roadway Access, Traffic, Radio Coverage

Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.

All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required as to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.

Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.

One-or two-family dwellings residential developments: Developments of one-or two-family dwellings where the number of dwellings units exceeds 30 shall be provided with at least two separate and approved fire apparatus access roads.

The purposed secondary Emergency Access presented by the developer via email on January 5, 2021, will meet the intent of the fire code for secondary access.

Access shall have an unobstructed width of not less than 20feet exclusive of shoulders with an unobstructed vertical clearance of not less than 13 feet 6 inches. The drivable surface shall be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds. The access shall be protected from unauthorized vehicles using MaxiForce collapsible bollards. The access shall also be marked with signs on both ends of the access point reading "Emergency and Authorized Vehicles ONLY".

(208) 286-7772
11665 W. STATE ST., SUITE B
STAR, IDAHO 83669

Examples:

The applicant shall work with City of Middleton, and Fire District to provide an address identification plan and signage which meets the requirements set forth by each agency. Addressing shall be placed in a position that is plainly legible and visible from the street or road fronting the property, as set forth in International Fire Code Section 505.1

All residential, commercial, and industrial buildings within the City shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. When required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response.

Address numbers shall have a minimum stroke width of one-half inch (0.5"), and of a color contrasting with the background. The required height of each address number shall be calculated by the distance of the addressed building from the road, as follows:

Less than one hundred feet (100')	6"
one hundred feet to one hundred fifty feet (100 - 150')	8"
one hundred fifty-one feet to two hundred feet (151 - 200')	10"
two hundred one feet to two hundred fifty-one feet (201 - 251')	12"

Streetlights shall be turned on once residential building begins, Lighting is essential in assisting first responders with identifying entrances safely while responding to calls for service.

Upon commencement of initial construction of a new structure, a clear visible freestanding sign or post hall be erected and maintained in place until the permanent address numerals are attached or otherwise displaced upon the premises at completion.

Specialty/Resource needs:
No specialty/resources will be needed for this development.

Water Supply:

Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.

1. Fire Flow: One- and two-family dwellings not exceeding 3,600 square feet require a fire-flow of 1,000 gallons per minute for a duration of 1 hours to service the entire project. One- and two-family dwellings in excess of 3,600 square feet require a minimum fire flow as specified in Appendix B of the International Fire Code.
2. Water Supply: Acceptance of the water supply for fire protection will be by the Fire District and water quality by the City of Middleton for bacteria testing.
3. Water Supply: Final Approval of the fire hydrant locations shall be by the Star Fire Protection District or their designee in accordance with International Fire Code Section (IFC) 508.5.4 as follows:
    a. Fire hydrants shall have a Storz LDH connection in place of the 4 ½" outlet. The Storz connection may be integrated into the hydrant or an approved adapter may be used on the 4 1/2" outlet.
    b. Fire hydrants shall have the Storz outlet face the main street or parking lot drive aisle.
    c. Fire hydrants shall be placed on corners when spacing permits.
    d. Fire hydrants shall not have any vertical obstructions to outlets within 10'.
    e. Fire hydrants shall be placed 18" above finished grade to the center of the Storz outlet.
    f. Fire hydrants shall be provided to meet the requirements of the Fire District and City of Middleton Standards.
    g. Show all proposed or existing hydrants for all new construction or additions to existing buildings within 1,000 feet of the project.

Inspections:

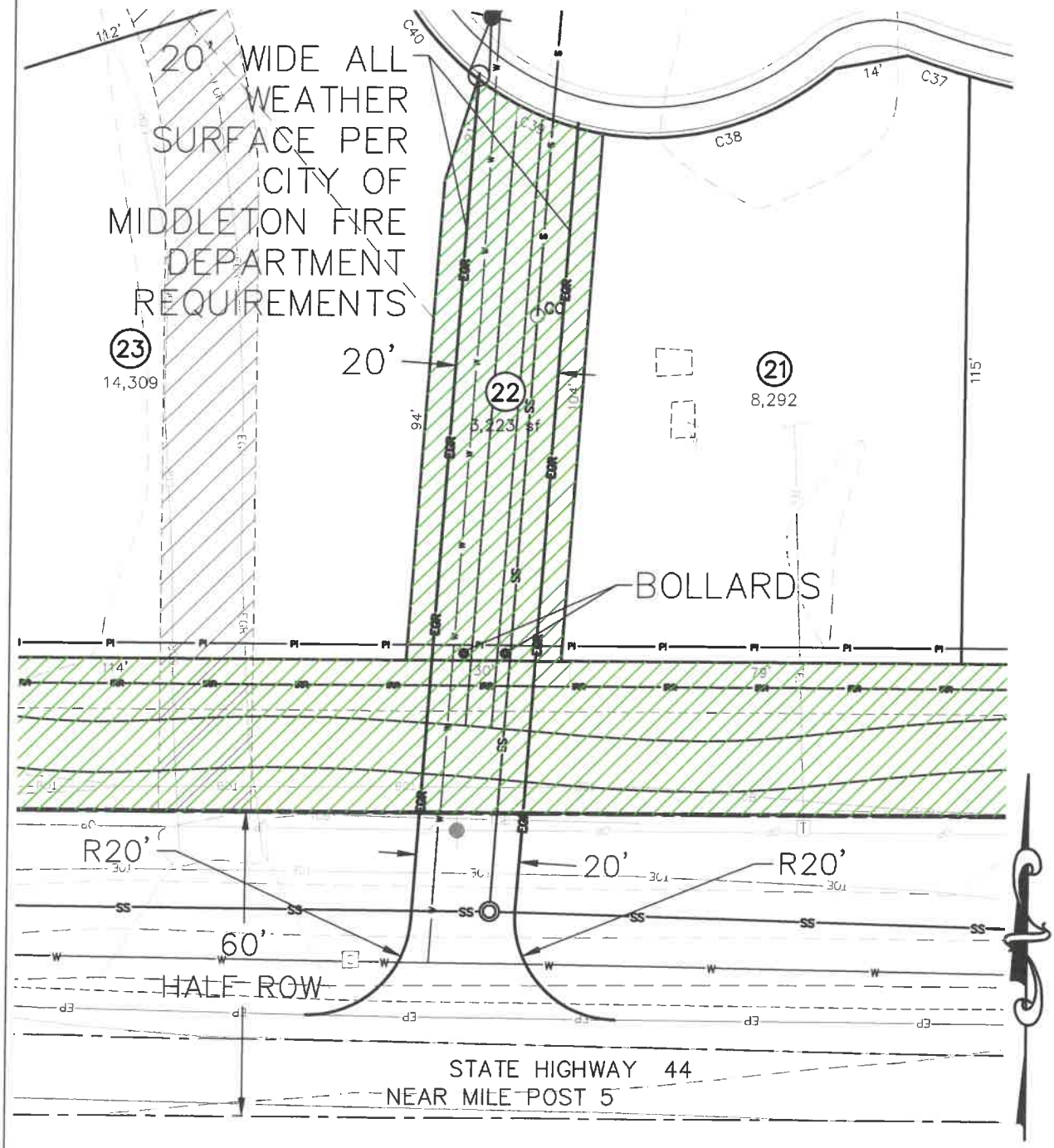
Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued

Additional Comments:

Side Setback as per City Code. Any modification to setback will require review and approval by the Fire District.

EMERGENCY ACCESS FOR ARTESIAN SPRINGS SUBDIVISION

LOCATED IN THE NW 1/4 OF THE NE 1/4
SECTION 8, T.4N., R.2W., B.M.,
MIDDLETON , CANYON COUNTY, IDAHO
2022



30 0 15 30 60

SCALE IN FEET
1"=30'

Middleton/Star Fire Districts
PLAN REVIEW
APPROVED AS SUBMITTED
Victor Islas
Deputy Chief, Fire Code Official
FCO 1829
Date: 01/05/2021

Bailey Engineering, Inc.

CIVIL ENGINEERING | PLANNING | CADD

1119 E. STATE ST, SUITE 210
EAGLE, ID 83616

TEL 208-938-0013
FAX 208-938-0516